



**BLUE LAKE
COMMUNITY DEVELOPMENT
DISTRICT**

**LEE COUNTY
REGULAR BOARD MEETING
SEPTEMBER 9, 2025
3:00 P.M.**

Special District Services, Inc.
The Oaks Center
2501A Burns Road
Palm Beach Gardens, FL 33410

www.bluelakecdd.org
561.630.4922 Telephone
877.SDS.4922 Toll Free
561.630.4923 Facsimile

AGENDA
BLUE LAKE
COMMUNITY DEVELOPMENT DISTRICT
WildBlue Social Building
18721 WildBlue Boulevard
Fort Myers, Florida 33913
REGULAR BOARD MEETING
September 9, 2025
3:00 P.M.

Call- In: (800) 743-4099 Passcode: 7423990 (for residents)

- A. Call to Order
- B. Proof of Publication.....Page 1
- C. Establish Quorum
- D. Additions or Deletions to Agenda
- E. Approval of Minutes
 - 1. August 12, 2025 Regular Board Meeting & Public Hearing.....Page 2
- F. Old Business
 - 1. Update on Lake Bank Repair Project.....Page 8
 - 2. Continued Discussion on Residential Dock Alternatives
- G. New Business
 - 1. Consider Approval of TV-ing Specific Drainage Line.....Page 17
- H. Administrative Matters
 - 1. Manager’s Report
 - Financials.....Page 23
 - Next Meeting – September 23, 2025 & October 14, 2025
 - 2. Engineer’s Report
 - 3. Attorney’s Report
- I. Comments from the Public for Items Not on the Agenda
- J. Board Member Comments
- K. Adjourn

Publication Date
2025-08-29

Subcategory
Miscellaneous Notices

BLUE LAKE COMMUNITY
DEVELOPMENT DISTRICT

NOTICE OF SEPTEMBER 2025 REGULAR BOARD MEETINGS

NOTICE IS HEREBY GIVEN that the Board of Supervisors of the Blue Lake Community Development District will hold two (2) Regular Board Meetings in the WildBlue Social Building located at 18721 WildBlue Boulevard, Fort Myers, Florida 33913 at 3:00 p.m. on September 9, 2025, and September 23, 2025.

The purpose of the meetings is to address any business to properly come before the Board. The meetings are open to the public and will be conducted in accordance with the provisions of Florida law. A copy of the agendas for these meeting may be obtained from the Districts website or by contacting the District Manager at 239-444-5790 and/or toll free at 1-877-737-4922 prior to the date of the meetings.

From time to time one or two Supervisors may participate by telephone; therefore, a speaker telephone will be present at the meeting location so that Supervisors may be fully informed of the discussions taking place.

Said meetings may be continued as found necessary to a time and place specified on the record.

If any person decides to appeal any decision made with respect to any matter considered at these meetings, such person will need a record of the proceedings and such person may need to ensure that a verbatim record of the proceedings is made at his or her own expense and which record includes the testimony and evidence on which the appeal is based.

In accordance with the provisions of the Americans with Disabilities Act, any person requiring special accommodations or an interpreter to participate at these meetings should contact the District Manager at 239-444-5790 and/or toll free at 1-877-737-4922 at least seven (7) days prior to the dates of the meetings.

Meetings may be cancelled from time to time without advertised notice.

BLUE LAKE COMMUNITY
DEVELOPMENT DISTRICT

www.bluelakecdd.org

8/29/25 #11606416

**BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT
PUBLIC HEARING & REGULAR BOARD MEETING
AUGUST 12, 2025**

A. CALL TO ORDER

The August 12, 2025, Regular Board Meeting of the Blue Lake Community Development District (the “District”) was called to order at 3:01 p.m. in the WildBlue Social Building located at 18721 WildBlue Boulevard, Fort Myers, Florida 33966.

B. PROOF OF PUBLICATION

Proof of publication was presented which showed that notice of the Regular Board Meeting had been published in the *Naples Daily News* on July 23, 2025, and July 30, 2025, as legally required.

C. ESTABLISH A QUORUM

It was determined that the attendance of the following Board Members constituted a quorum:

| | | |
|---------------|-----------------|---------|
| Chairman | Chris Hasty | Present |
| Vice Chairman | David Bello | Present |
| Supervisor | Norbie Larsen | Present |
| Supervisor | Mark Rapponotti | Present |
| Supervisor | Terry Vette | Present |

Also present were the following Staff Members:

| | | |
|-------------------|-----------------------|---------------------------------|
| District Manager | Kathleen Meneely | Special District Services, Inc. |
| District Counsel | Wes Haber (via phone) | Kutak Rock LLP |
| District Engineer | Frank Savage | Barraco and Associates, Inc. |

Also present were:

Paul Kwirt, Jim Spaulding, Evan Auster, Ellie DeNietto, Nydell & Marc Nusbaum, Tom & Susan Abernathy, Joe Gaty, Barbara Wright, Dave Pazdernik, Bob Kudlascik, Barb & Wally Bartelt, Mark Nelson, James & Jeannie Towgood, Donald Bobrow and Ted Kozlowski.

Other residents were present via phone.

D. ADDITIONS OR DELETIONS TO AGENDA

There were no additions or deletions to the agenda.

E. APPROVAL OF MINUTES

1. July 22, 2025, Regular Board Meeting

The minutes of the July 22, 2025, Regular Board Meeting were presented for consideration.

A **motion** was made by Mr. Vette, seconded by Mr. Bello and passed unanimously approving the minutes of the July 22, 2025, Regular Board Meeting, as presented.

Ms. Meneely then recessed the Regular Board Meeting and opened the Public Hearing.

F. PUBLIC HEARING

1. Proof of Publication

Proof of publication was presented which showed that notice of the Public Hearing had been published in the *Naples Daily News* on July 23, 2025, and July 30, 2025, as legally required.

2. Receive Public Comment on Fiscal Year 2025/2026 Final Budget

Mr. Hasty summarized the budget and Ms. Meneely went over the increases which are primarily attributed to funding the lawsuit filed against Lennar for lake bank repairs. Comments were then received from the public including questions about the litigation lawyers experience, recouping litigation costs, reserves, and the timing of assessments. A question was asked about the confidential settlement originally offered by Lennar and Mr. Bello responded that it was \$2.9 Million. He noted the amount was to include HOA issues as well, and while off the table, does not come close to covering the costs of the repairs.

3. Consider Resolution No. 2025-02 – Adopting a Fiscal Year 2025/2026 Final Budget

Resolution No. 2025-02 was presented, entitled:

**RESOLUTION 2025-02
[FY 2025/2026 APPROPRIATION RESOLUTION]**

THE ANNUAL APPROPRIATION RESOLUTION OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT (“DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET(S) FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2025, AND ENDING SEPTEMBER 30, 2026; AUTHORIZING BUDGET AMENDMENTS; AND PROVIDING AN EFFECTIVE DATE.

A **motion** was made by Mr. Bello, seconded by Mr. Vette and passed unanimously adopting Resolution No. 2025-02, as presented.

4. Consider Resolution No. 2025-03 – Adopting an Annual Assessment Resolution for Fiscal Year 2025/2026

Resolution No. 2025-03 was presented, entitled:

**RESOLUTION 2025-03
[FY 2025/2026 ASSESSMENT RESOLUTION]**

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT PROVIDING FOR FUNDING FOR THE FY 2025/2026 ADOPTED BUDGET(S); PROVIDING FOR THE

COLLECTION AND ENFORCEMENT OF SPECIAL ASSESSMENTS, INCLUDING BUT NOT LIMITED TO PENALTIES AND INTEREST THEREON; CERTIFYING AN ASSESSMENT ROLL; PROVIDING FOR AMENDMENTS TO THE ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

A **motion** was made by Mr. Larsen, seconded by Mr. Vette and passed unanimously adopting Resolution No. 2025-03, as presented.

Ms. Meneely then closed the Public Hearing and reconvened the Regular Board Meeting.

F. OLD BUSINESS

1. Update on Lake Bank Repair Project

Mr. Savage stated that a parallel path was being taken to design and repair the wall and gave the background of the project. He noted that Cummins Cederberg's schedule would be circulated and showed an aggressive movement to get out to bid around mid-October with approval of 90% of plans in early September and construction award in mid-December. There was general discussion about contacting companies who may be interested in proposing to do the repairs with Mr. Hasty noting that all must receive the same information. Mr. Hasty noted that he would work with Mr. Savage on the Gantt chart and how to check off tasks.

2. Continued Discussion on Residential Dock Alternatives

Mr. Bello gave a background noting that those residents with docks, of which there are 21, have two potential options. The first option would require that they move their docks at their expense during the repairs. The other option would be that they are allowed to leave in place and toe stone will be used around it which will offer not as much protection but would not impact the efficiency of the entire project. He noted that this would require the homeowner to sign a recorded release and be responsible for their own repairs should future repairs be needed. He also stated that this was for current docks only.

After discussion, a motion was made by Mr. Vette, seconded by Mr. Bello and passed unanimously to give homeowners the option to leave in place and further authorizes the attorney to develop a release.

Mr. Hasty reiterated that if a homeowner takes this option, they are taking on a liability which will be recorded for future purchasers of their homes.

H. NEW BUSINESS

1. Consider Resolution No. 2025-04 – Adopting a Fiscal Year 2025/2026 Meeting Schedule

Resolution No. 2025-04 was presented, entitled:

RESOLUTION NO. 2025-04

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT, ESTABLISHING A REGULAR MEETING SCHEDULE FOR FISCAL YEAR 2025/2026 AND SETTING THE TIME AND LOCATION OF SAID DISTRICT MEETINGS; AND PROVIDING AN EFFECTIVE DATE.

Discussion ensued regarding the November, December and May dates on the schedule. Due to their proximity to holidays, they were removed from the schedule.

A **motion** was made by Mr. Vette, seconded by Mr. Rapponotti and passed unanimously adopting Resolution No. 2025-04, as amended.

2. Consider Resolution No. 2025-05 – Authorizing Validation

Resolution No. 2025-05 was presented, entitled:

RESOLUTION NO. 2025-05

AUTHORIZING THE ISSUANCE OF NOT TO EXCEED \$20,000,000 AGGREGATE PRINCIPAL AMOUNT OF BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT BONDS, IN ONE OR MORE SERIES, TO PAY ALL OR A PORTION OF THE DESIGN, ACQUISITION AND CONSTRUCTION COSTS OF CERTAIN PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, THE REPAIR AND REPLACEMENT OF LAKE RETAINING WALLS RELATING TO THE DISTRICT'S STORMWATER MANAGEMENT AND CONTROL FACILITIES; AND RELATED INCIDENTAL COSTS, INCLUDING PROFESSIONAL FEES (COLLECTIVELY, THE "HURRICANE REPAIR PROJECT"), PURSUANT TO CHAPTER 190, FLORIDA STATUTES, AS AMENDED; PROVIDING FOR THE APPOINTMENT OF A TRUSTEE; AUTHORIZING THE APPLICATION OF THE MASTER TRUST INDENTURE DATED AS OF MAY 1, 2019; APPROVING THE FORM AND AUTHORIZING THE EXECUTION AND DELIVERY OF SUPPLEMENTAL TRUST INDENTURE IN SUBSTANTIALLY THE FORM ATTACHED HERETO; PROVIDING THAT SUCH BONDS SHALL NOT CONSTITUTE A DEBT, LIABILITY OR OBLIGATION OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT (EXCEPT AS OTHERWISE PROVIDED HEREIN), LEE COUNTY, FLORIDA, THE STATE OF FLORIDA OR OF ANY OTHER POLITICAL SUBDIVISION THEREOF, BUT SHALL BE PAYABLE SOLELY FROM SPECIAL ASSESSMENTS ASSESSED AND LEVIED ON THE PROPERTY WITHIN THE DISTRICT BENEFITED BY THE IMPROVEMENTS AND SUBJECT TO ASSESSMENT; PROVIDING FOR THE JUDICIAL VALIDATION OF SUCH BONDS; AND PROVIDING FOR OTHER RELATED MATTERS.

Mr. Haber stated that, working with Greenberg Traurig and as discussed in prior meetings, the CDD anticipates issuing bonds which exceed five years and therefore must be validated. He noted that \$4.6 Million is still available from the original bond but that is not adequate moving forward for the repairs. He noted that the process had been designed to provide flexibility with \$40 Million in bonds authorized and is set up for a worst case scenario without obligation for issuance. He advised that a complaint is filed with Lee County, which takes about 70-90 days, and then there is a 30 day appeal period. Discussion ensued and Mr. Vette asked about filing for less with Mr. Larsen agreeing that a lesser amount was adequate as the revetment costs were known. He continued that he preferred that future Boards do not have that money out there and that they use the same process if ever required.

A **motion** was made by Mr. Vette, seconded by Mr. Larsen and passed unanimously adopting Resolution No. 2025-05 with the complaint filed for \$20 Million which includes the cost of bond issuance.

I. ADMINISTRATIVE MATTERS

1. Manager's Report

Ms. Meneely presented the financials. There were no questions from the Board Members.

Ms. Meneely noted that the next meeting was scheduled for September 9, 2025. Messrs. Larsen and Vette noted that they would be calling in for that meeting.

2. Engineer's Report

There was no Engineer's Report at this time.

3. Attorney's Report

Mr. Haber stated that he had received confirmation that the case had been filed against Lennar and subcontractors and that shade sessions could now be held. He stated that the Board could decide when they want to schedule the shade sessions, noting that it was easiest to do after Regular Board meetings.

J. COMMENTS FROM THE PUBLIC FOR ITEMS NOT ON THE AGENDA

There were no comments from the public for items not on the agenda.

K. BOARD MEMBER COMMENTS

Mr. Hasty advised that he was leaving Lennar and had planned on resigning from the CDD, noting that his seat expires in November of 2026 and it is a landowner seat that will go to general election at that time. He offered to stay in his seat so that there would be a quorum for going over the 60% plans, but that the Board should start preparing to fill the seat.

Mr. Larsen asked about people calling in and being able to give an opinion. Ms. Meneely gave the background whereby that was previously allowed but was very disruptive as people did not mute their phones. Therefore the Board made a policy that one must be present in order to comment or submit comments/questions prior to a meeting. She noted that this was the same process used in City, County and other government meetings. Mr. Larsen commented that he believed people should be able to call in and speak.

L. ADJOURNMENT

There being no further business to come before the Board, a **motion** was made by Mr. Bello, seconded by Mr. Rapponotti and passed unanimously adjourning the Regular Board Meeting at 5:05 p.m.

ATTESTED BY:

Secretary/Assistant Secretary

Chairperson/Vice-Chair

BLUE LAKE SHORELINE STABILIZATION

18701 / 18731 WILDBLUE BLVD.
FORT MYERS, LEE COUNTY
FLORIDA 33913



| | SHEET INDEX | |
|--|--------------|---|
| | SHEET NUMBER | TITLE |
| | CM-1.0 | COVER SHEET |
| | CM-1.1 | GENERAL NOTES |
| | CM-1.2 | EXISTING CONDITIONS |
| | CM-2.0 | PROPOSED IMPROVEMENTS STA. 0+00 TO STA. 38+00 |
| | CM-2.1 | CROSS SECTIONS (1 OF 3) |
| | CM-2.2 | CROSS SECTIONS (2 OF 3) |
| | CM-2.3 | CROSS SECTIONS (3 OF 3) |
| | CM-2.4 | ROCK REVETMENT TYPICAL SECTIONS |
| | CM-3.0 | MARINE MATTRESS DETAILS |

CLIENT:

BLUE LAKE COMMUNITY
DEVELOPMENT DISTRICT
ATTN: MS. KATHLEEN MENEELY
27499 RIVERVIEW CENTER BLVD., #253
BONITA SPRINGS, FLORIDA 334134

ENGINEER:

CUMMINS | CEDERBERG
Coastal & Marine Engineering

MIAMI | FORT LAUDERDALE | JUPITER
SARASOTA | ST. PETERSBURG | TALLAHASSEE
TEL: +1 305-741-6155 FAX: 305-974-1969
WWW.CUMMINSCEDERBERG.COM

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SEAL:

[illegible]

| | |
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| CC PROJECT NO: | 126600 |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

SHEET TITLE

EXISTING CONDITIONS

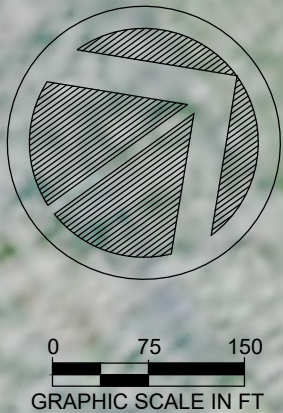
CM-1.2

| DEMOLITION QUANTITIES TABLE | | |
|-----------------------------|------|-----|
| ITEM | UNIT | QTY |
| EXISTING RETAINING WALL | LF | 000 |

NOTES

1. SURVEY PERFORMED BY : BARRACO AND ASSOCIATES, DATED
DECEMBER 17 & 18, 2024.
2. HORIZONTAL DATUM IS NAD83 FLORIDA STATE PLANE WEST ZONE, US FEET.
3. VERTICAL DATUM IS NORTH AMERICAN DATUM 1988 (NAVD88)

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| PROPOSED QUANTITIES TABLE | | |
|--|---------|-----|
| ITEM | UNIT | QTY |
| ARMOR STONE ABOVE EL. 19.8' | CY / TN | - |
| ARMOR STONE BELOW EL. 19.8' | CY / TN | - |
| BEDDING STONE IN ROCK APRON | CY / TN | - |
| GEOTEXTILE | SF | - |
| BACKFILL ABOVE EL. 19.8' | CY | - |
| BACKFILL BELOW EL. 19.8' | CY | - |
| EXCAVATION ABOVE EL. 19.8' | CY | - |
| EXCAVATION BELOW EL. 19.8' | CY | - |
| OVERALL COUNT OF 20' MARINE MATTRESSES | EA | - |
| OVERALL AREA OF 20' MARINE MATTRESSES | SF | - |
| OVERALL COUNT OF 15' MARINE MATTRESS | EA | - |
| OVERALL AREA OF 15' MARINE MATTRESSES | SF | - |

- NOTES:
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 2. HORIZONTAL DATUM IS NAD83 FLORIDA STATE PLANE WEST ZONE, US FEET.
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PROJECT:
BLUE LAKE SHORELINE
STABILIZATION

ADDRESS:
18701/18731 WILDBLUE BLVD
FORT MYERS, FL, 33913

CLIENT:
BLUE LAKE COMMUNITY
DEVELOPMENT
DISTRICT

ADDRESS:
27499 RIVERVIEW CENTER BLVD.,
#253
BONITA SPRINGS, FL 34134

ENGINEER:
CUMMINS CEDERBERG
COASTAL & MARINE ENGINEERING
201 ALHAMBRA CIRCLE, SUITE 601
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COA # 29062

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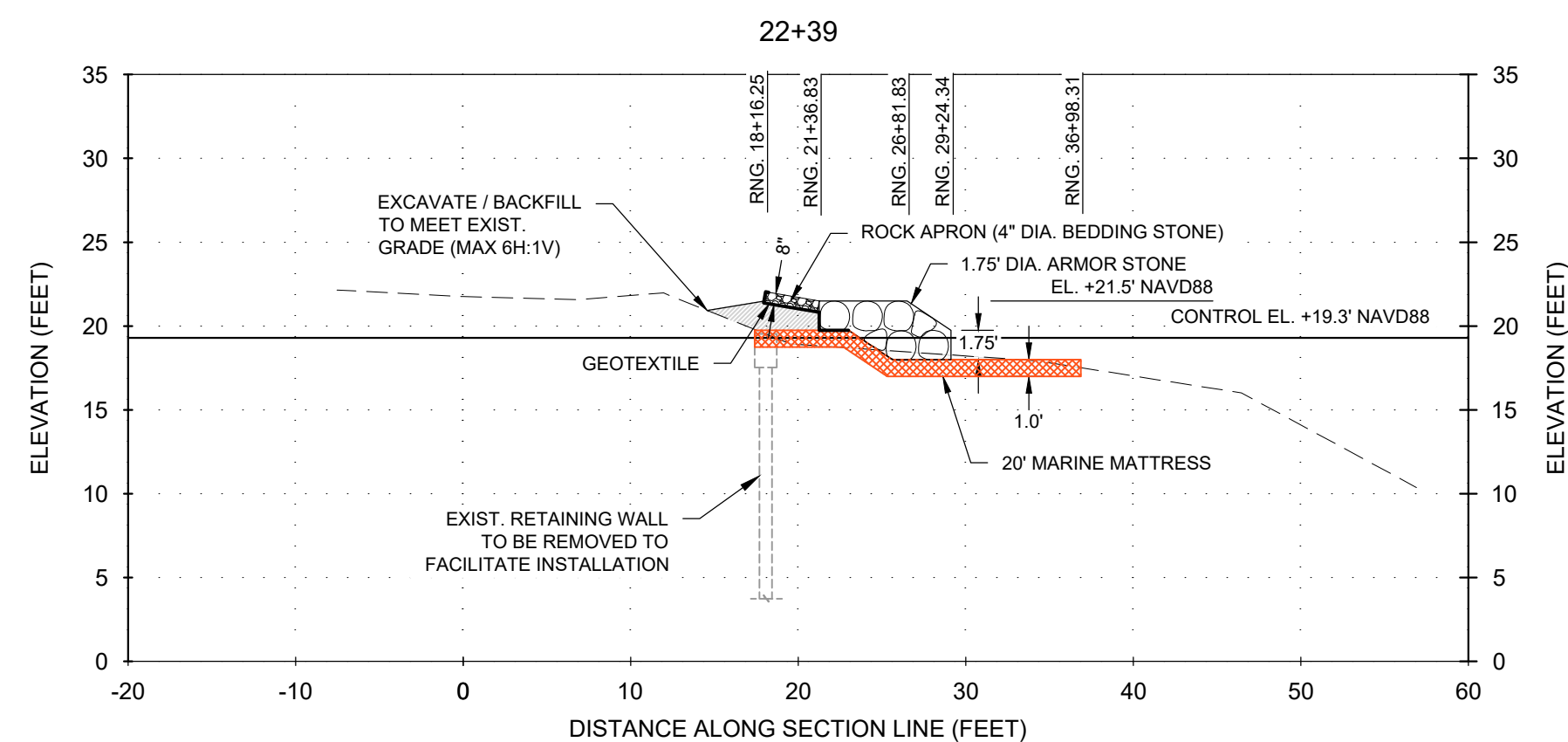
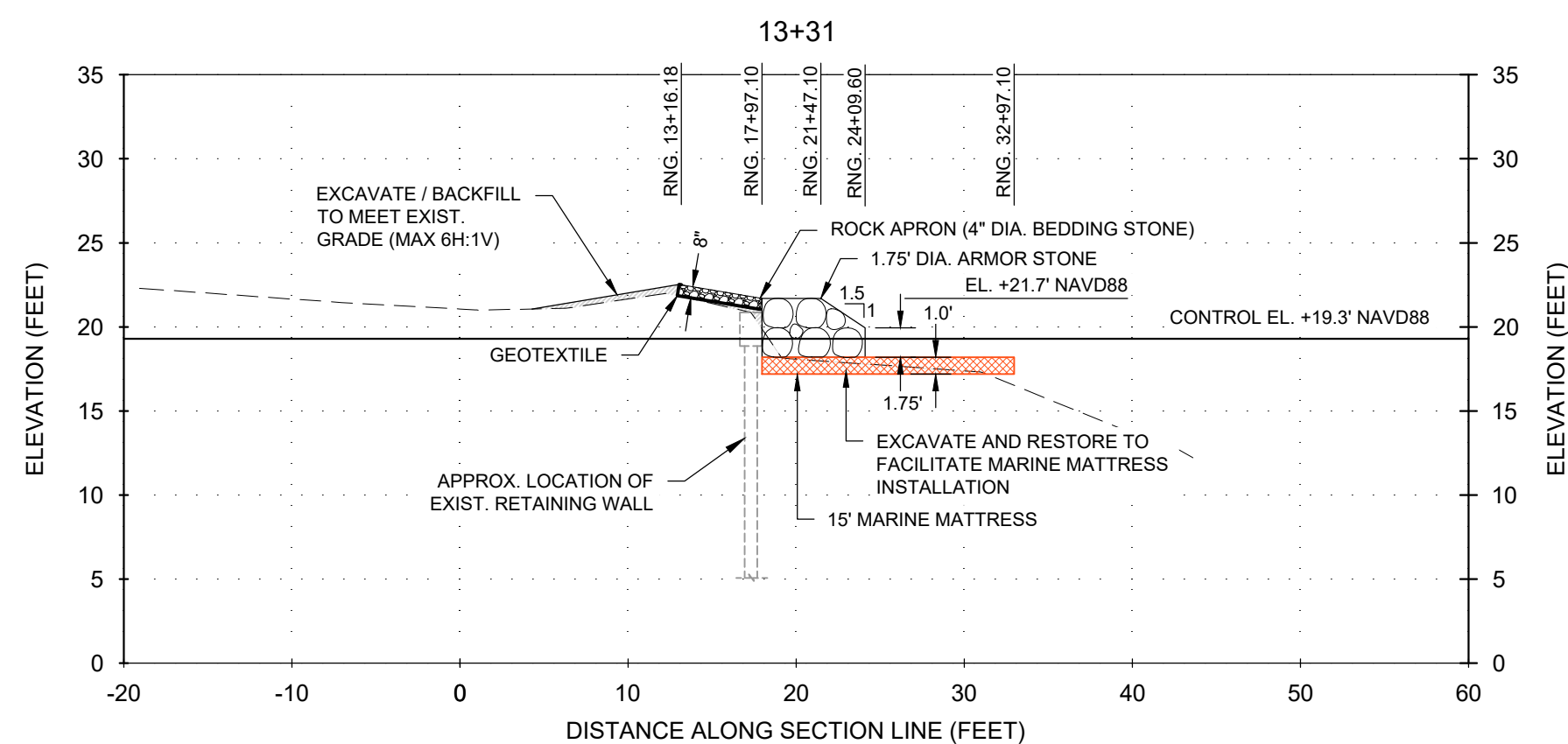
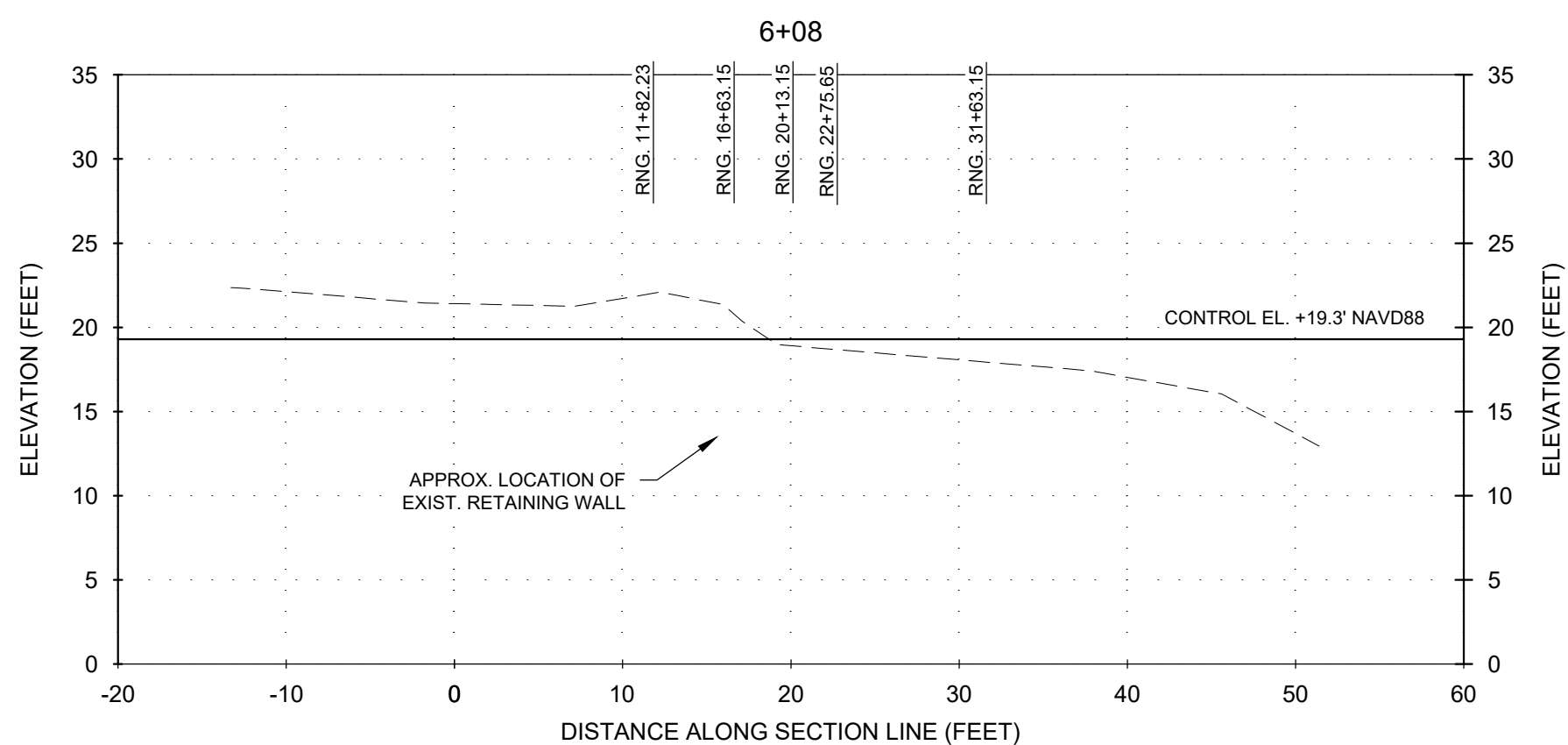
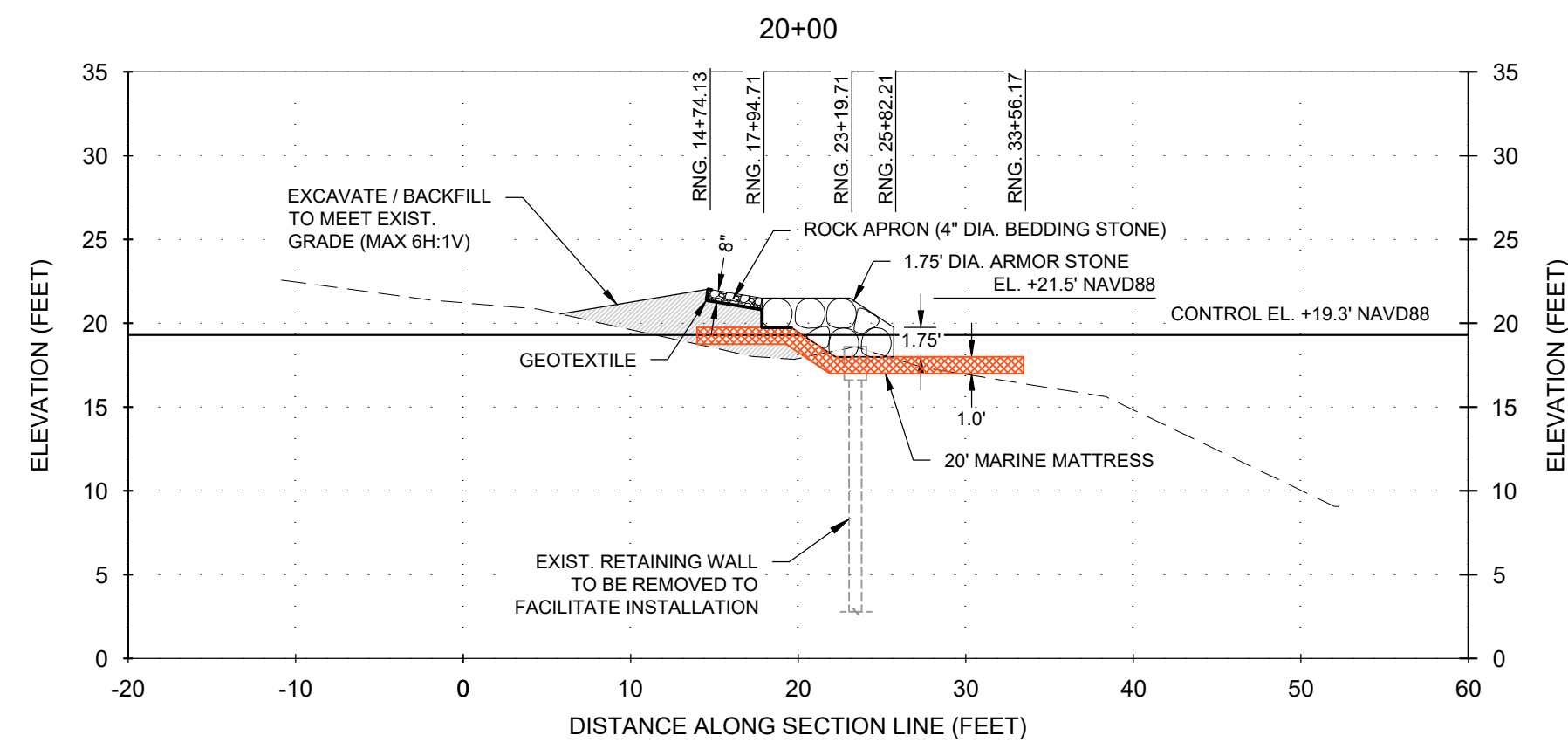
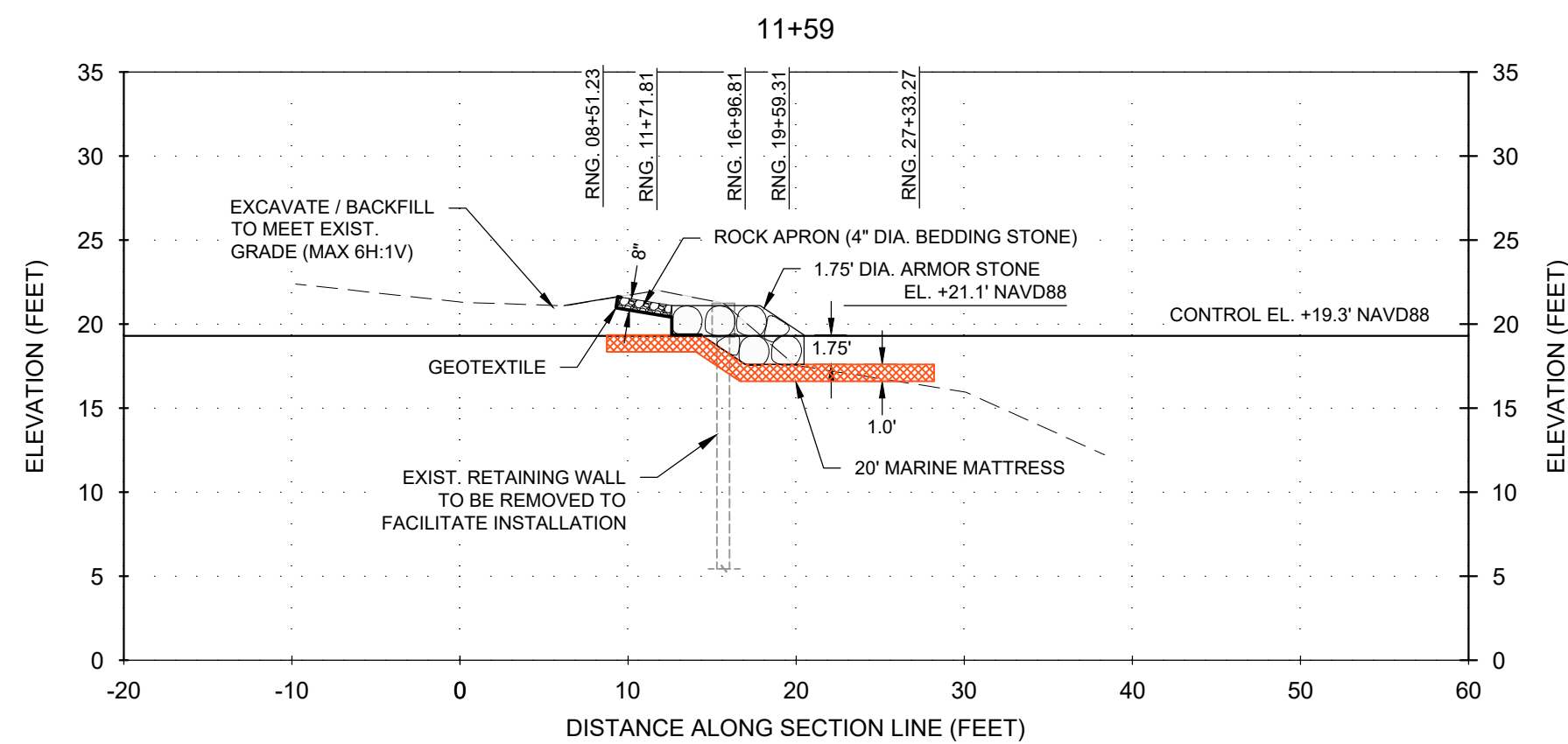
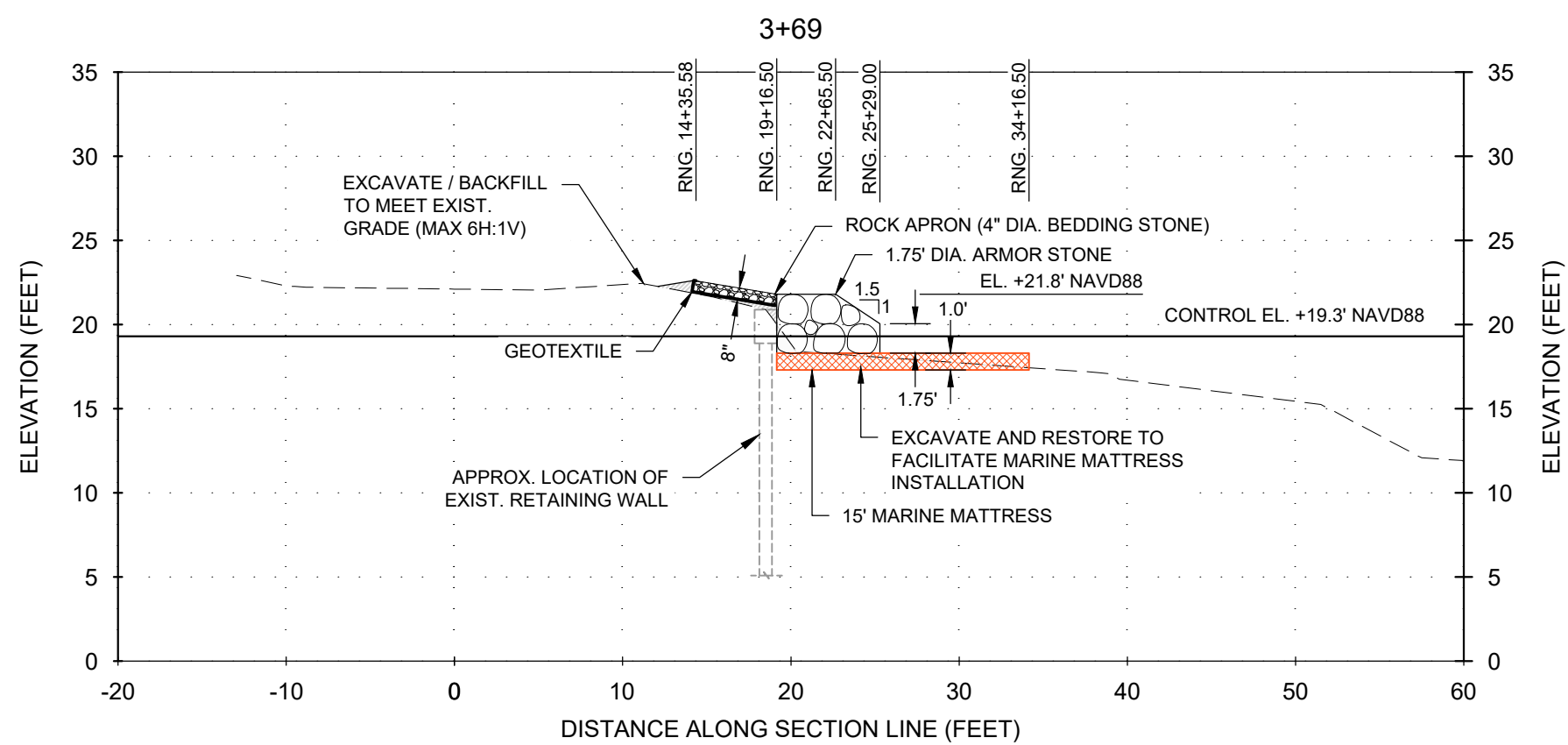
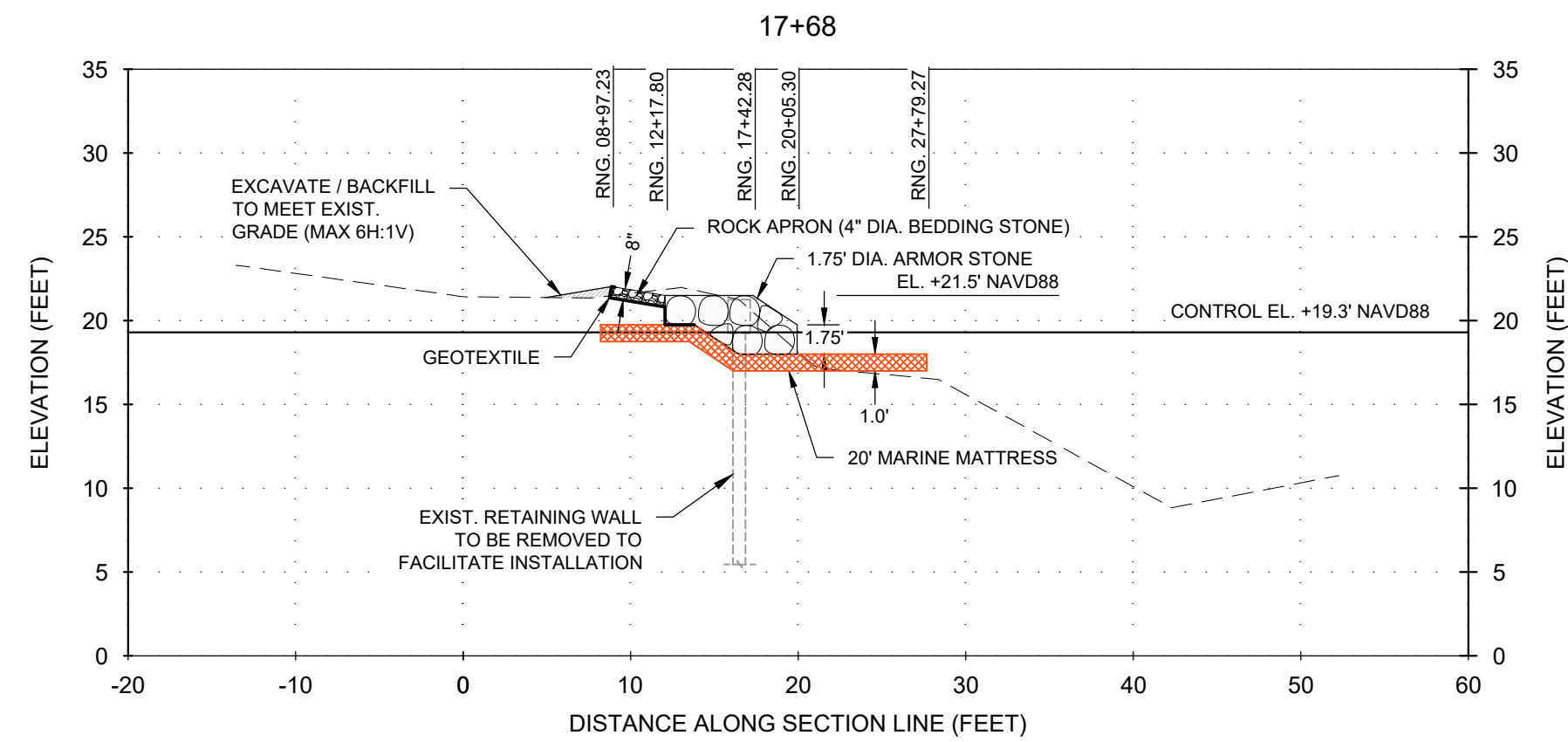
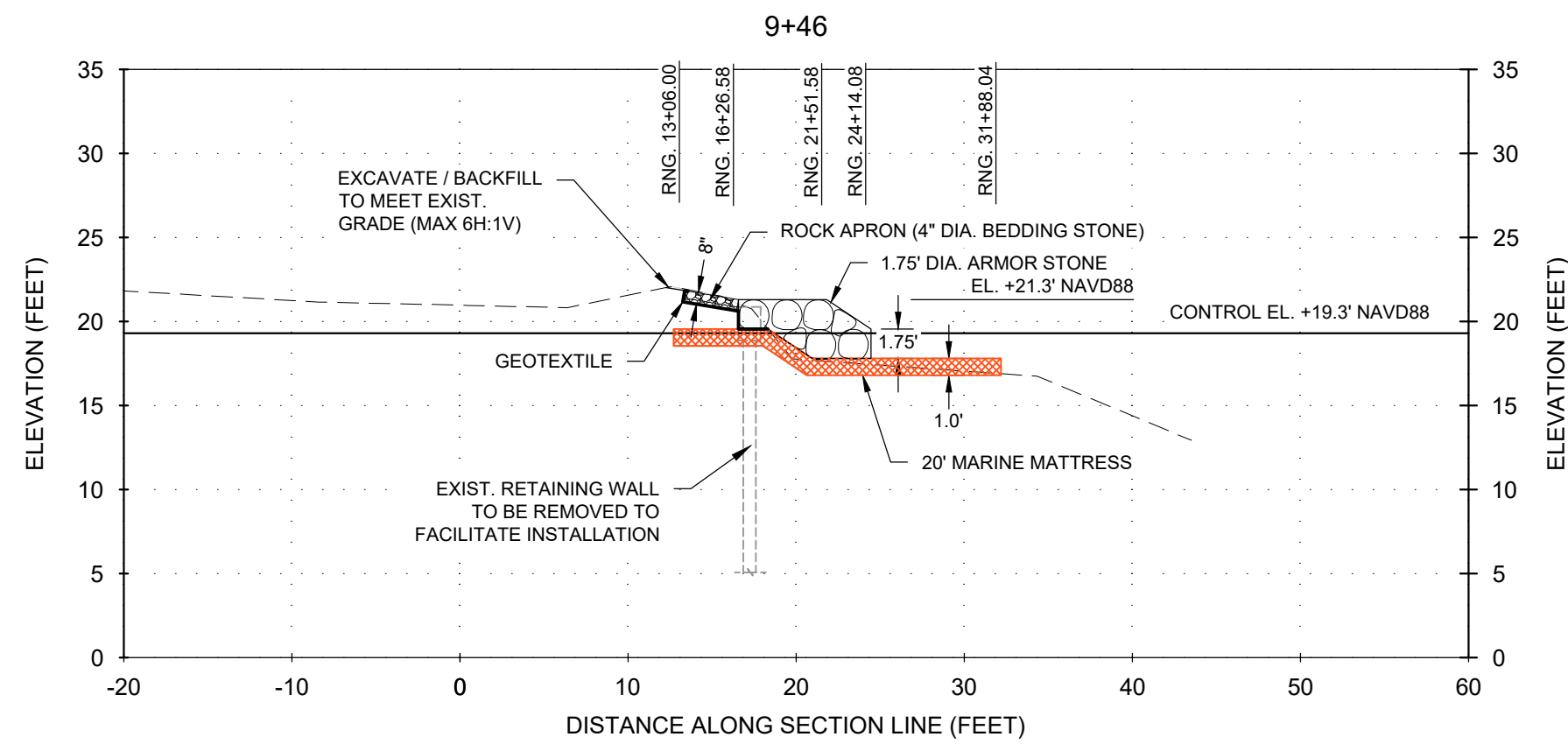
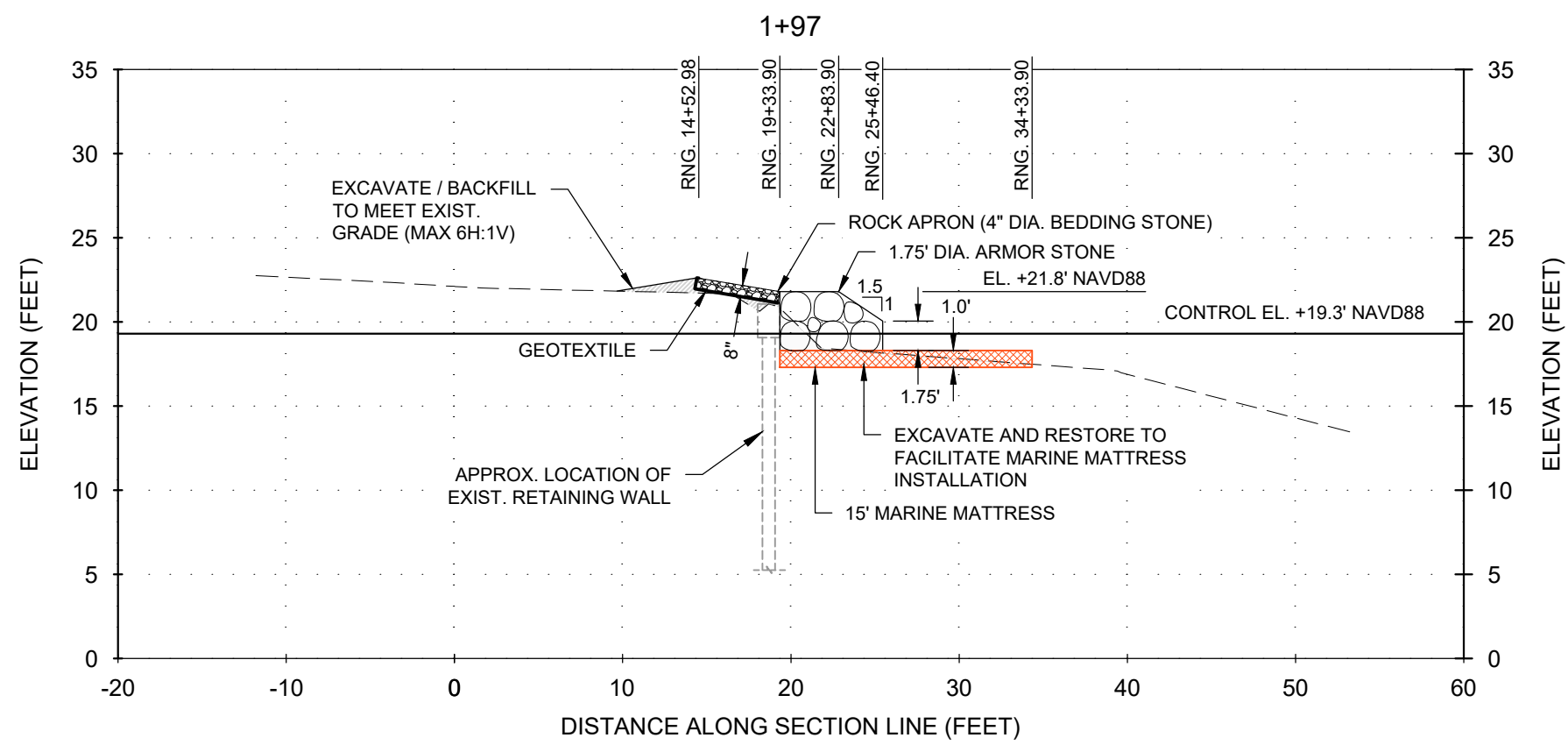
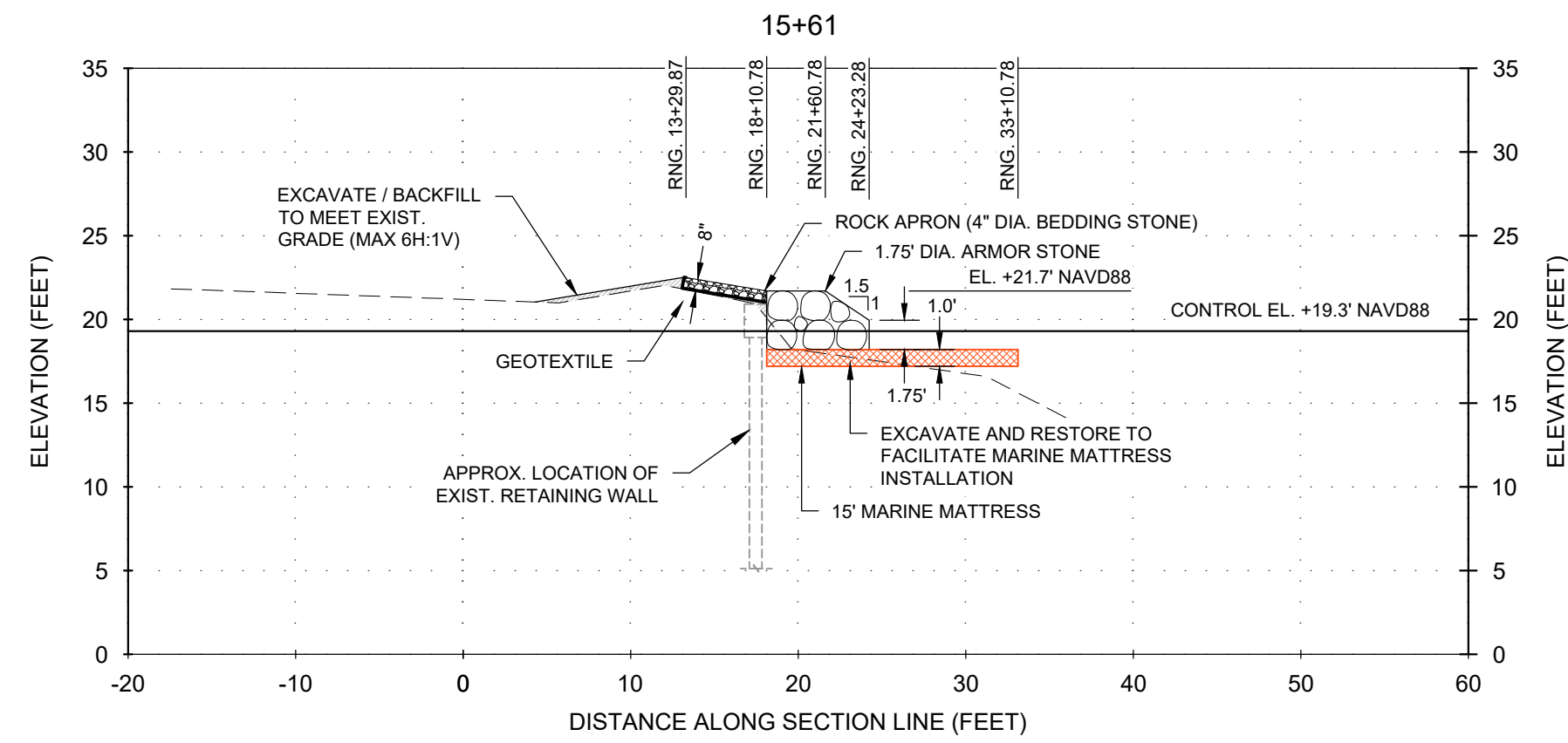
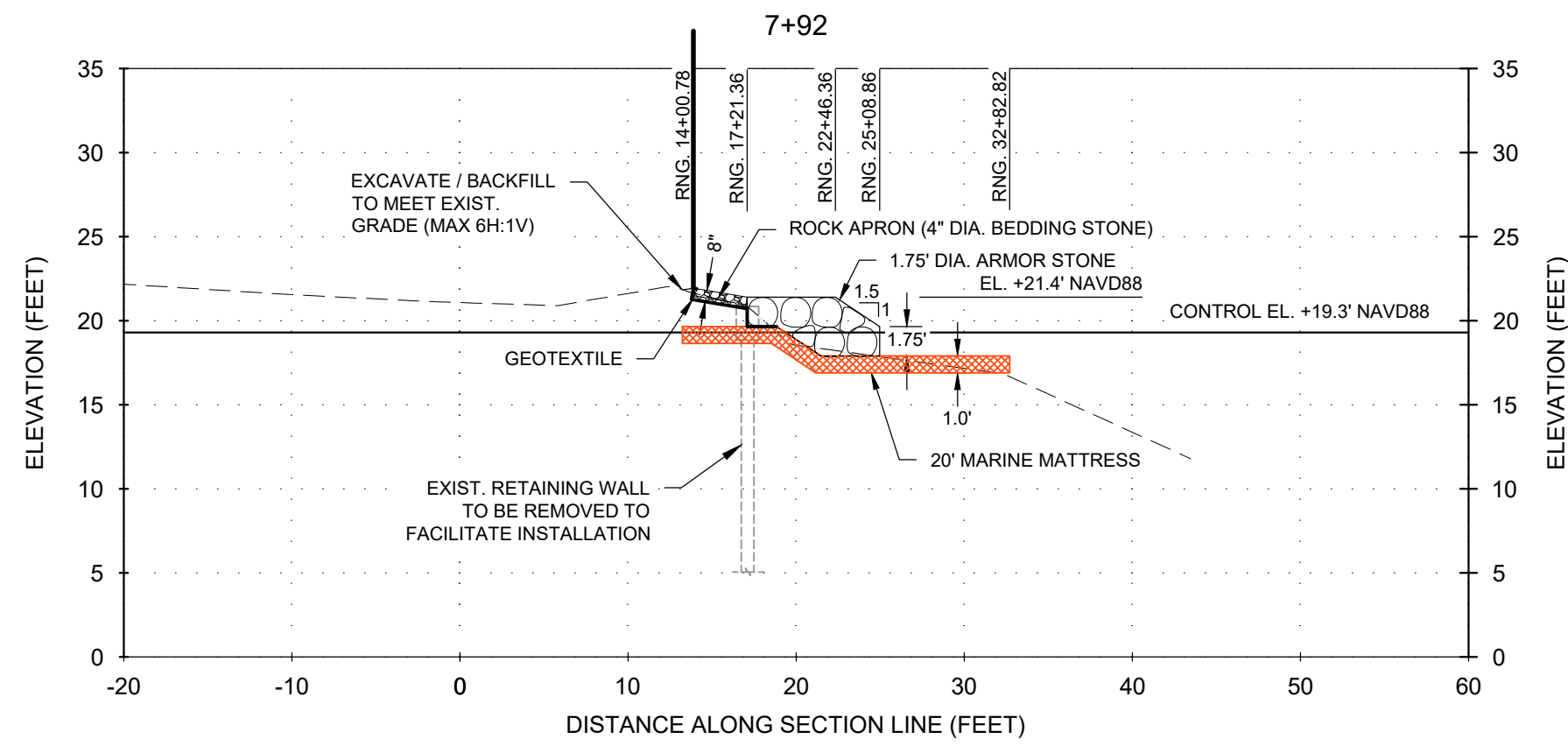
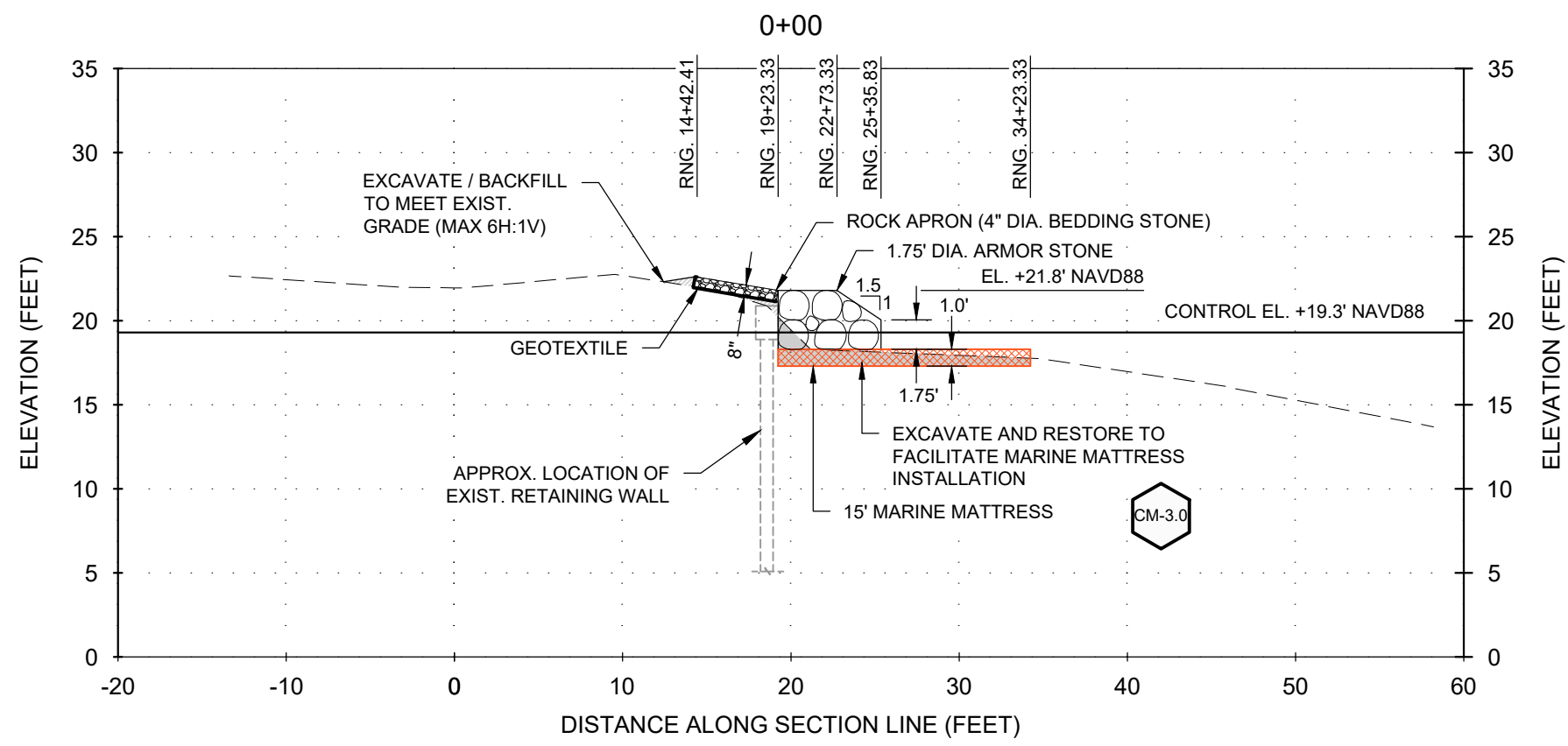
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| | | | | | | | | | | 05/28/2025 | DATE |
| | | | | | | | | | 1 | ISSUE | |

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|-----------------------|-----------------------|
| CC PROJECT NO: 126600 | |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

SHEET TITLE
**PROPOSED
IMPROVEMENTS**

CM-2.0



NOTES:
1. SURVEY PERFORMED BY : BARRACO AND ASSOCIATES, DATED
DECEMBER 17 & 18, 2024.
2. VERTICAL DATUM IS NORTH AMERICAN DATUM 1988 (NAVD88)



PROJECT:
BLUE LAKE SHORELINE
STABILIZATION

ADDRESS:
18701/18731 WILDBLUE BLVD
FORT MYERS, FL, 33913

CLIENT:
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DEVELOPMENT
DISTRICT

ADDRESS:
27499 RIVERVIEW CENTER BLVD.,
#253
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ENGINEER:
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SEAL:

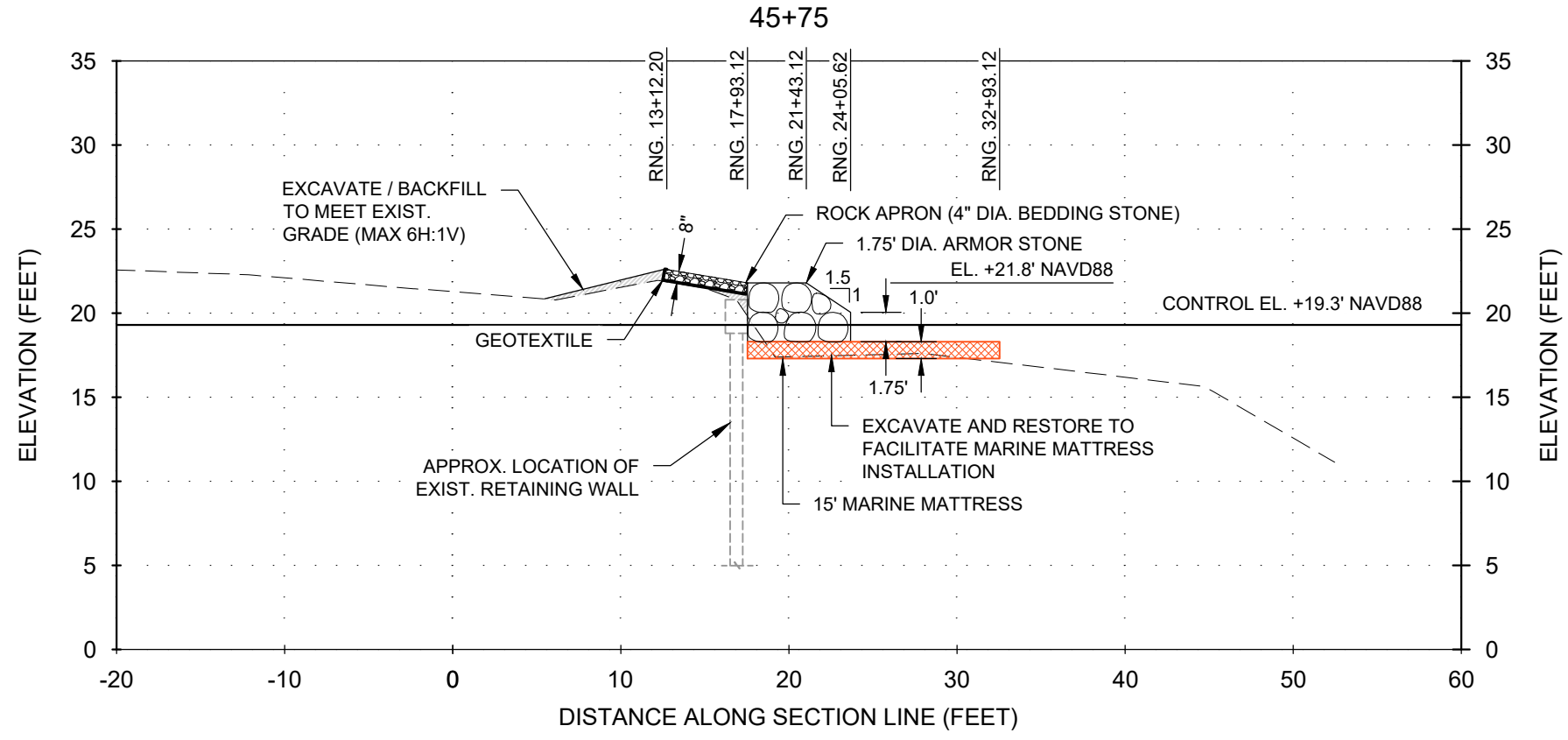
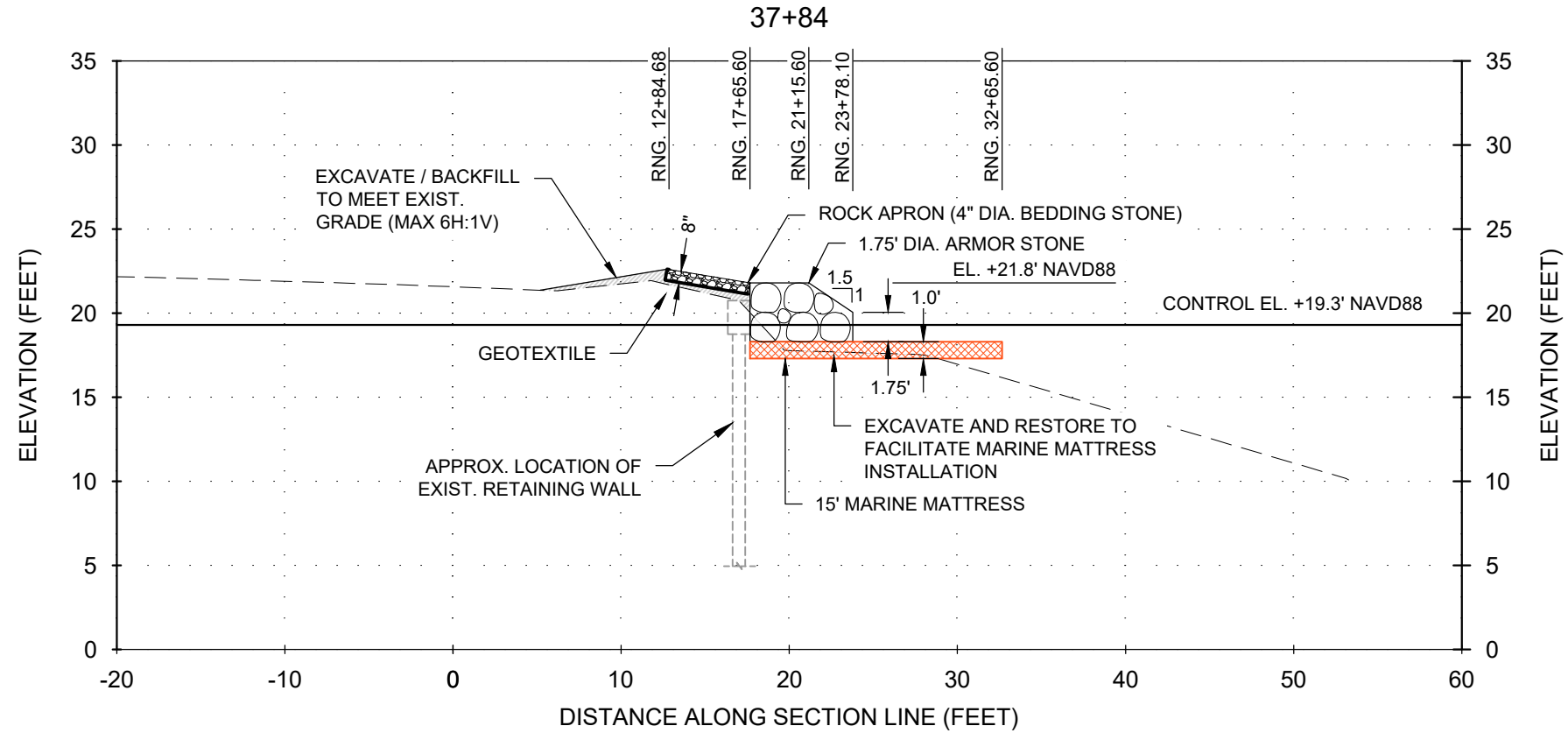
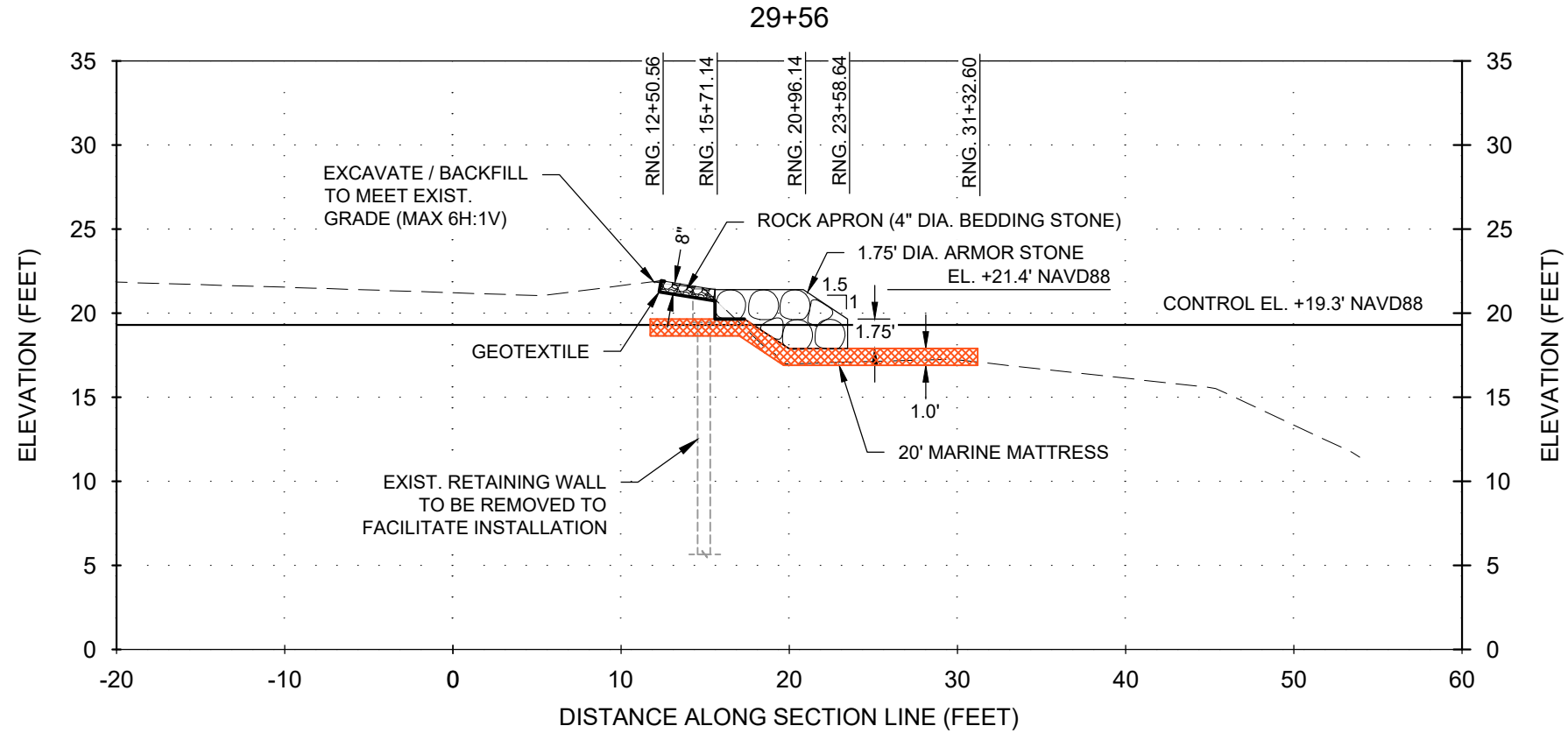
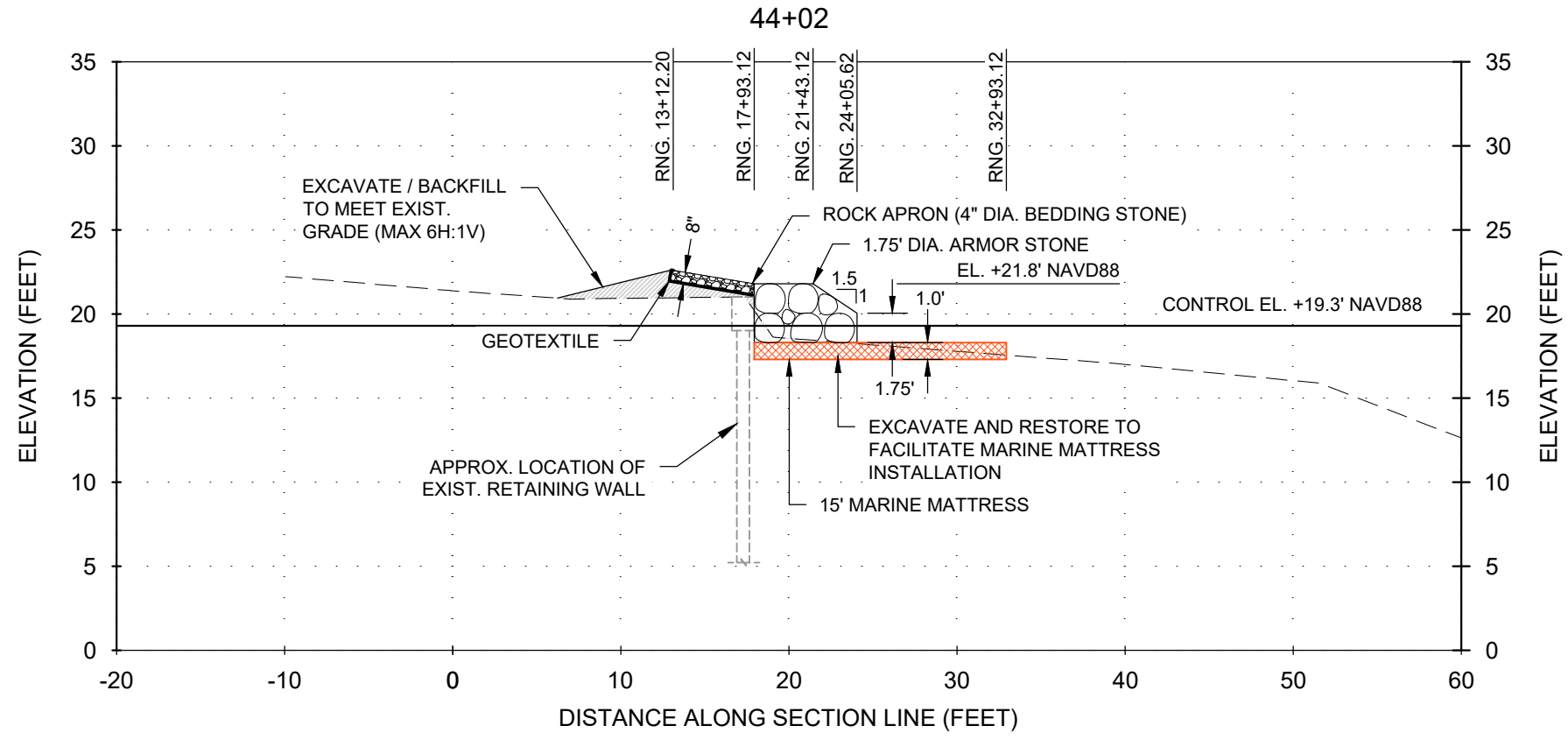
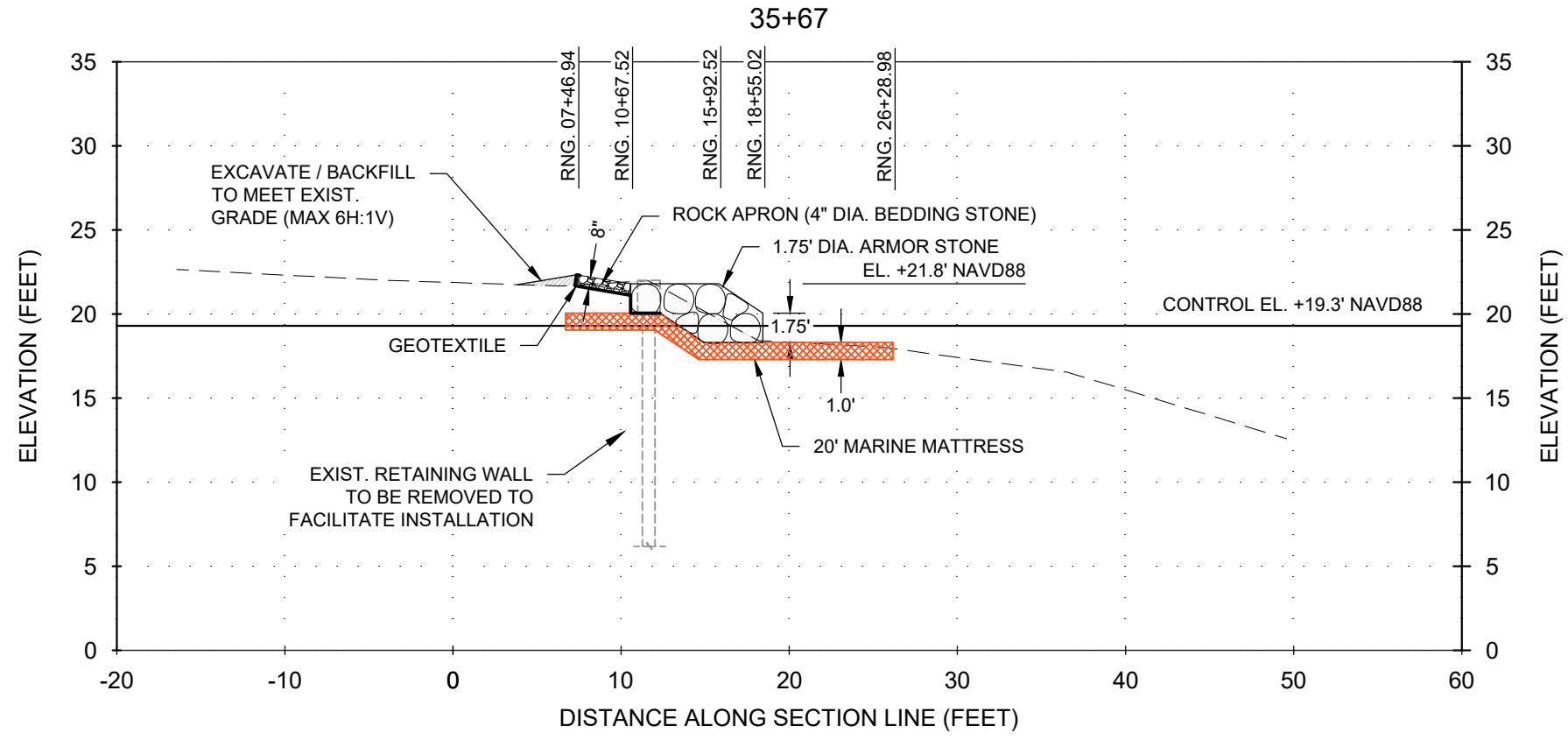
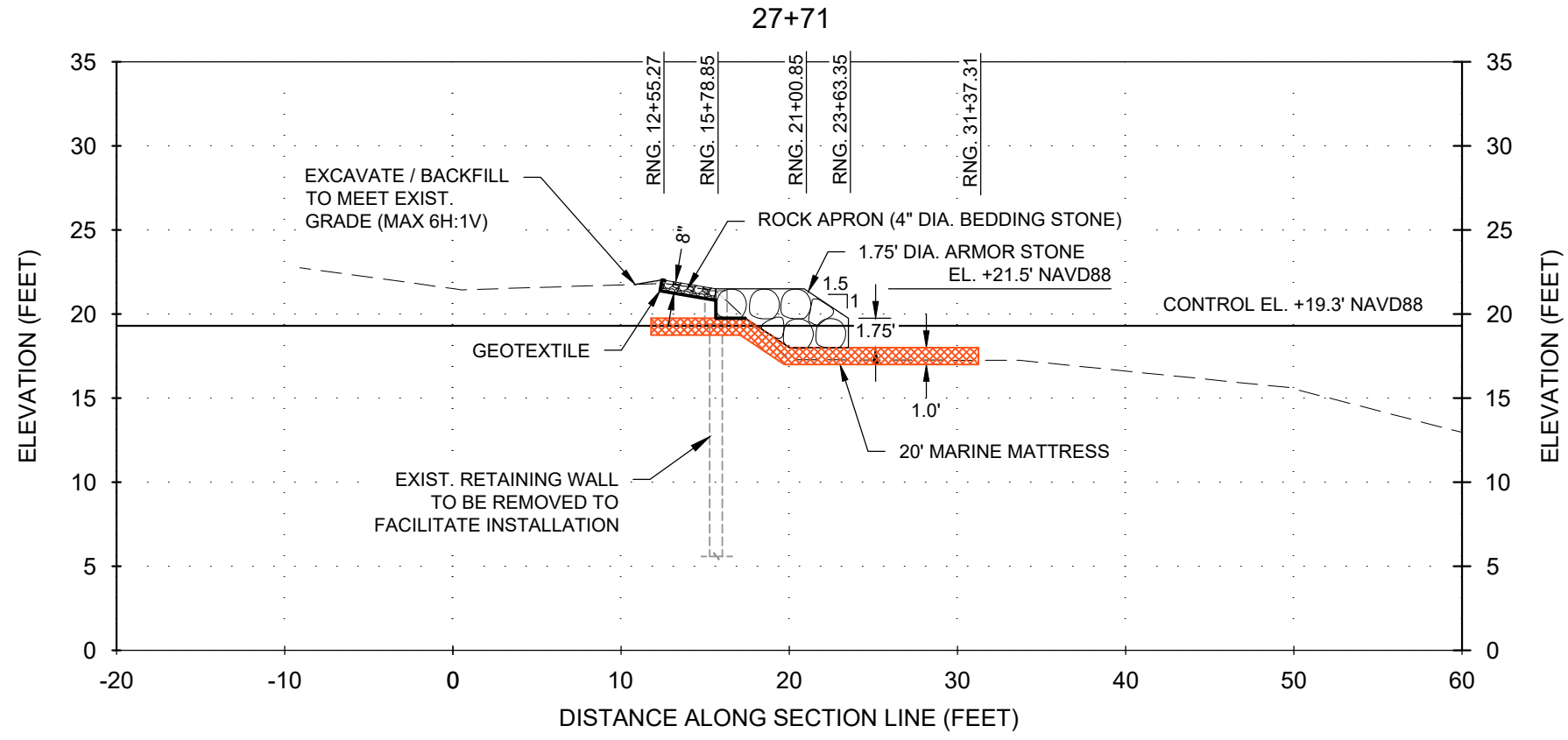
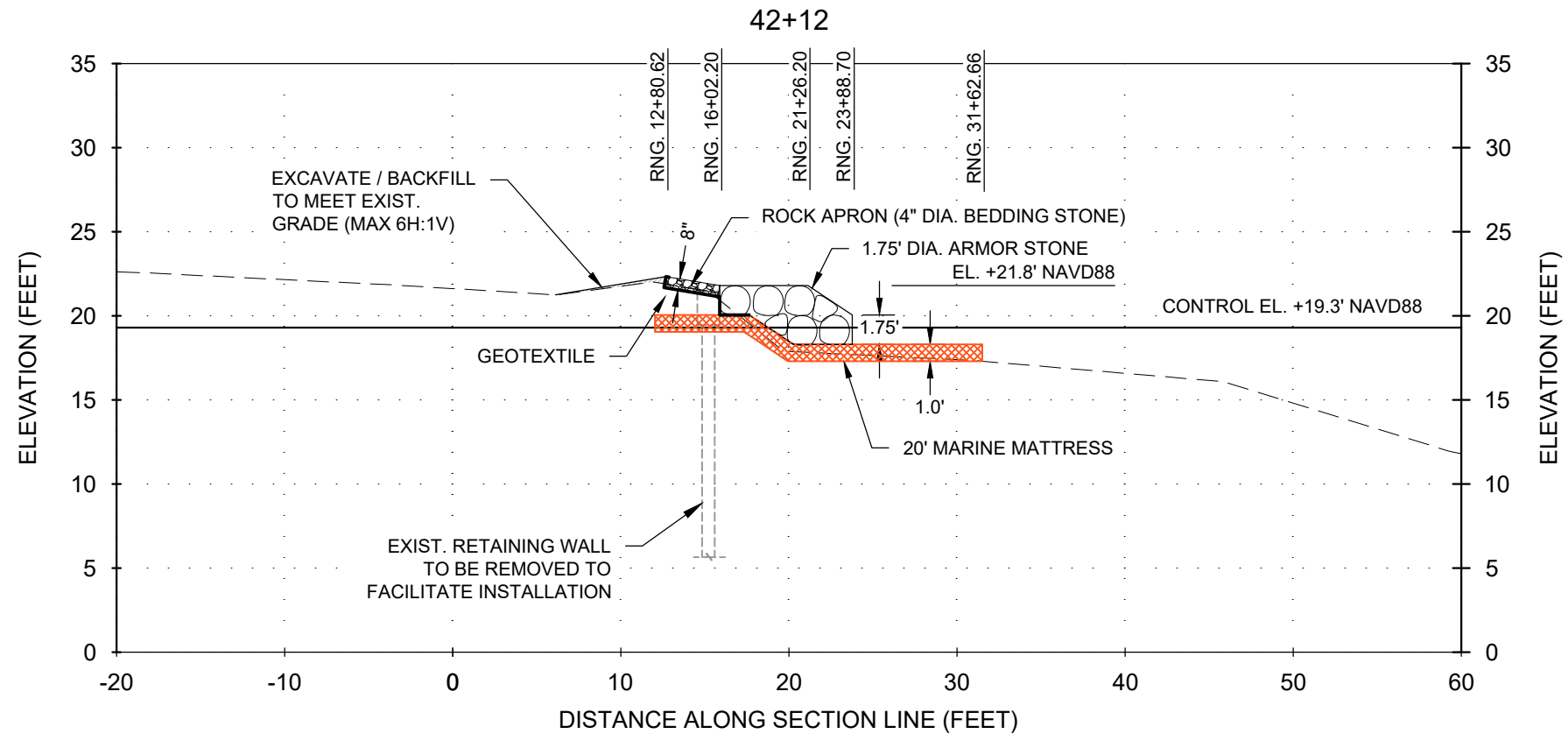
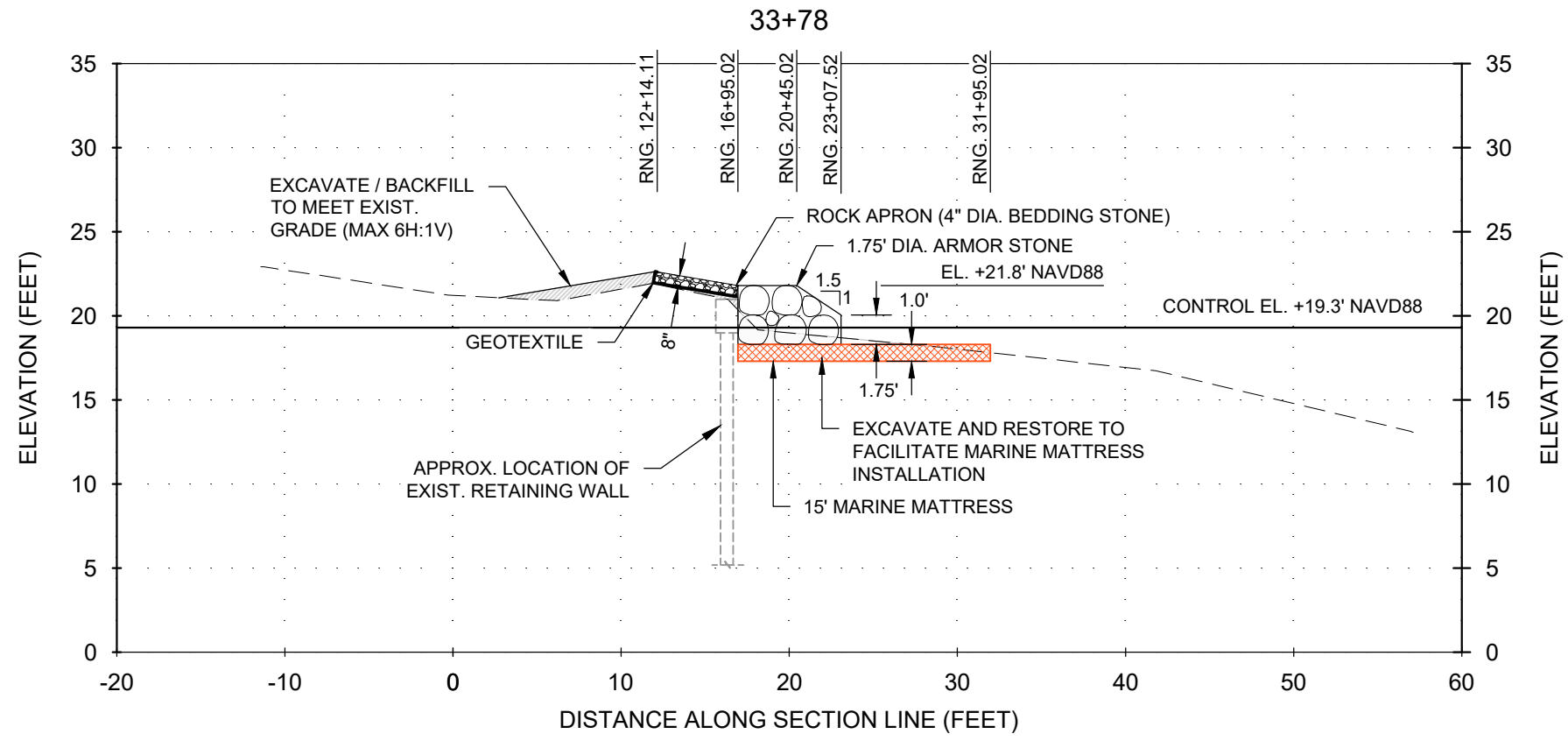
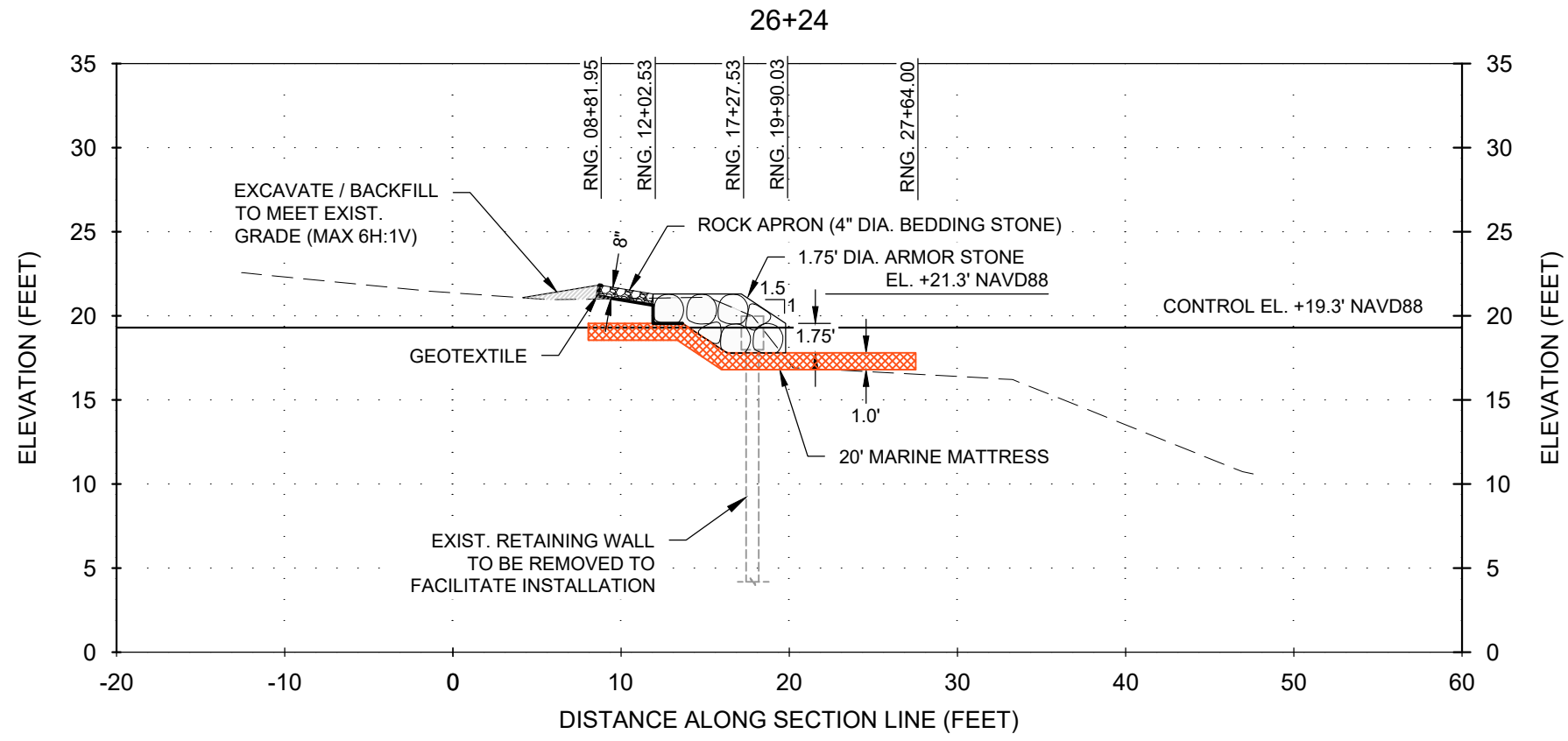
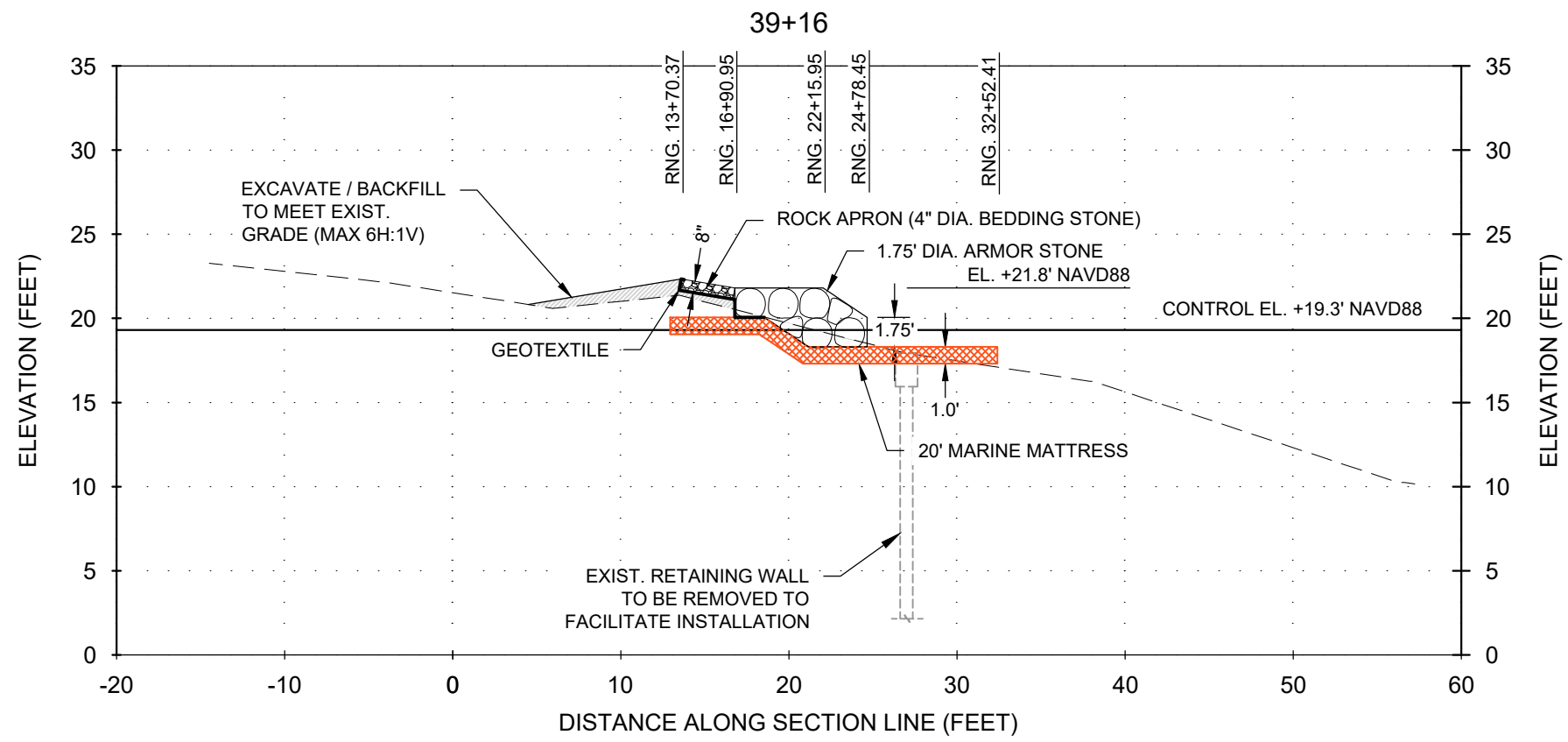
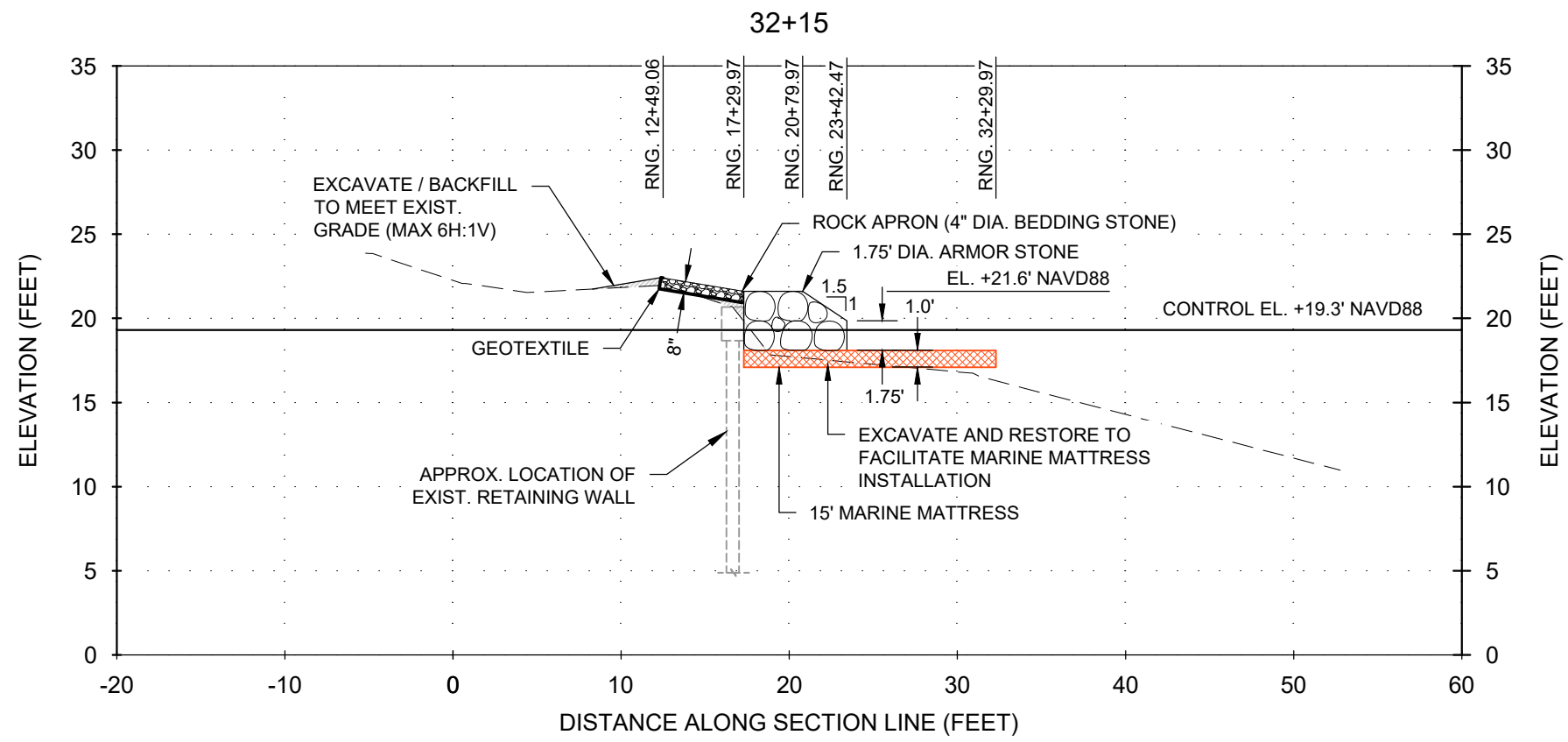
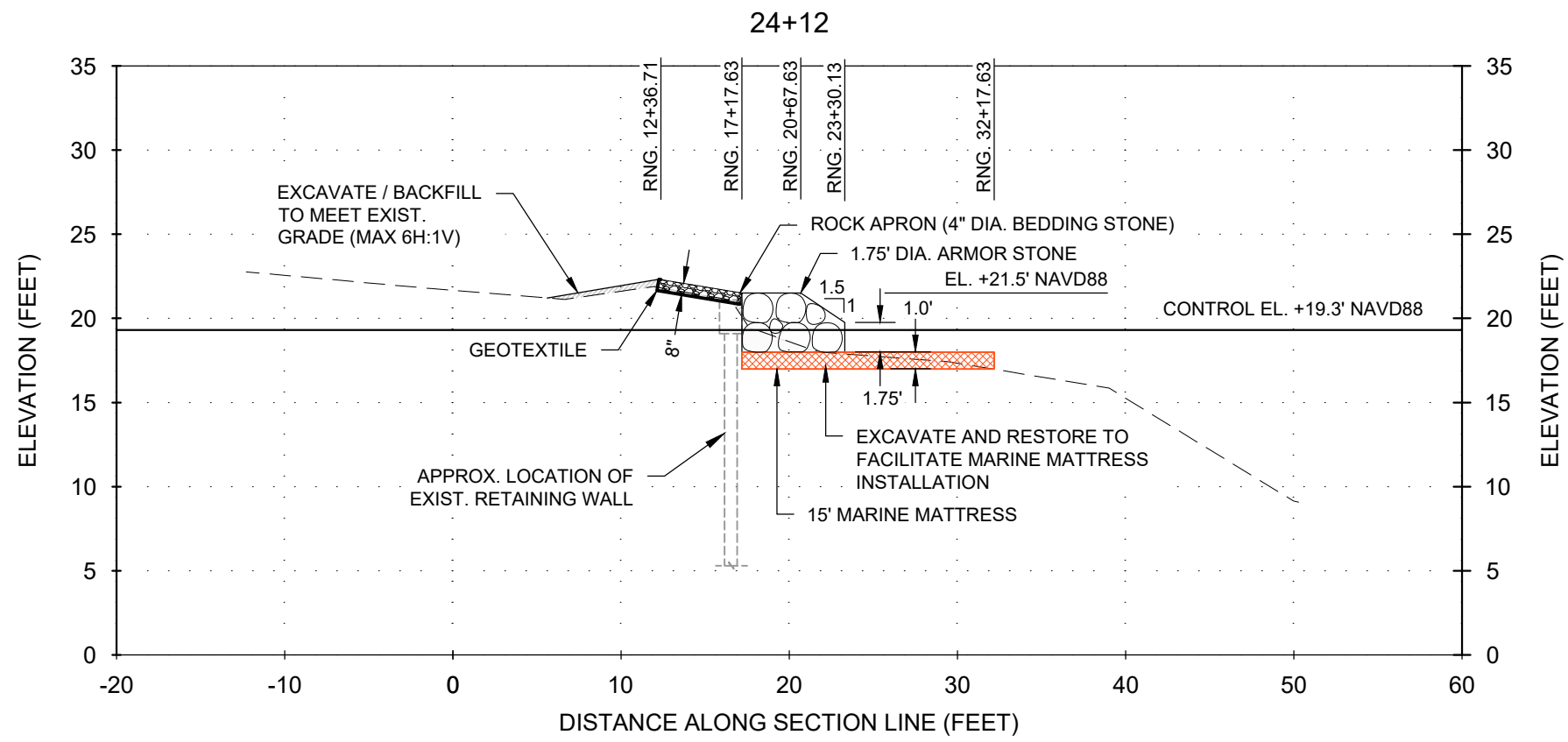
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| DATE | ISSUE | DATE | ISSUE |
| 05/28/2025 | 1 | | |

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| CC PROJECT NO: | 126600 |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

SHEET TITLE
CROSS SECTION
(1 OF 3)

CM-2.1

U:\Projects\126600 Blue Lake Shoreline Stabilization\03 - Drawings\Permits\Working\2025-07-31\126600 Blue Lake Shoreline.dwg



- NOTES:
1. SURVEY PERFORMED BY : BARRACO AND ASSOCIATES, DATED DECEMBER 17 & 18, 2024.
 2. VERTICAL DATUM IS NORTH AMERICAN DATUM 1988 (NAVD88)



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STABILIZATION

ADDRESS:
18701/18731 WILDBLUE BLVD
FORT MYERS, FL, 33913

CLIENT:
BLUE LAKE COMMUNITY
DEVELOPMENT
DISTRICT

ADDRESS:
27499 RIVERVIEW CENTER BLVD.,
#253
BONITA SPRINGS, FL 34134

ENGINEER:
CUMMINS CEDERBERG
COASTAL & MARINE ENGINEERING
201 ALHAMBRA CIRCLE, SUITE 601
CORAL GABLES, FL 33134
TEL: +1 305 741-6155 FAX: +1 305-974-1969
WWW.CUMMINSCEDERBERG.COM
COA # 29062

CUMMINS CEDERBERG
Coastal & Marine Engineering

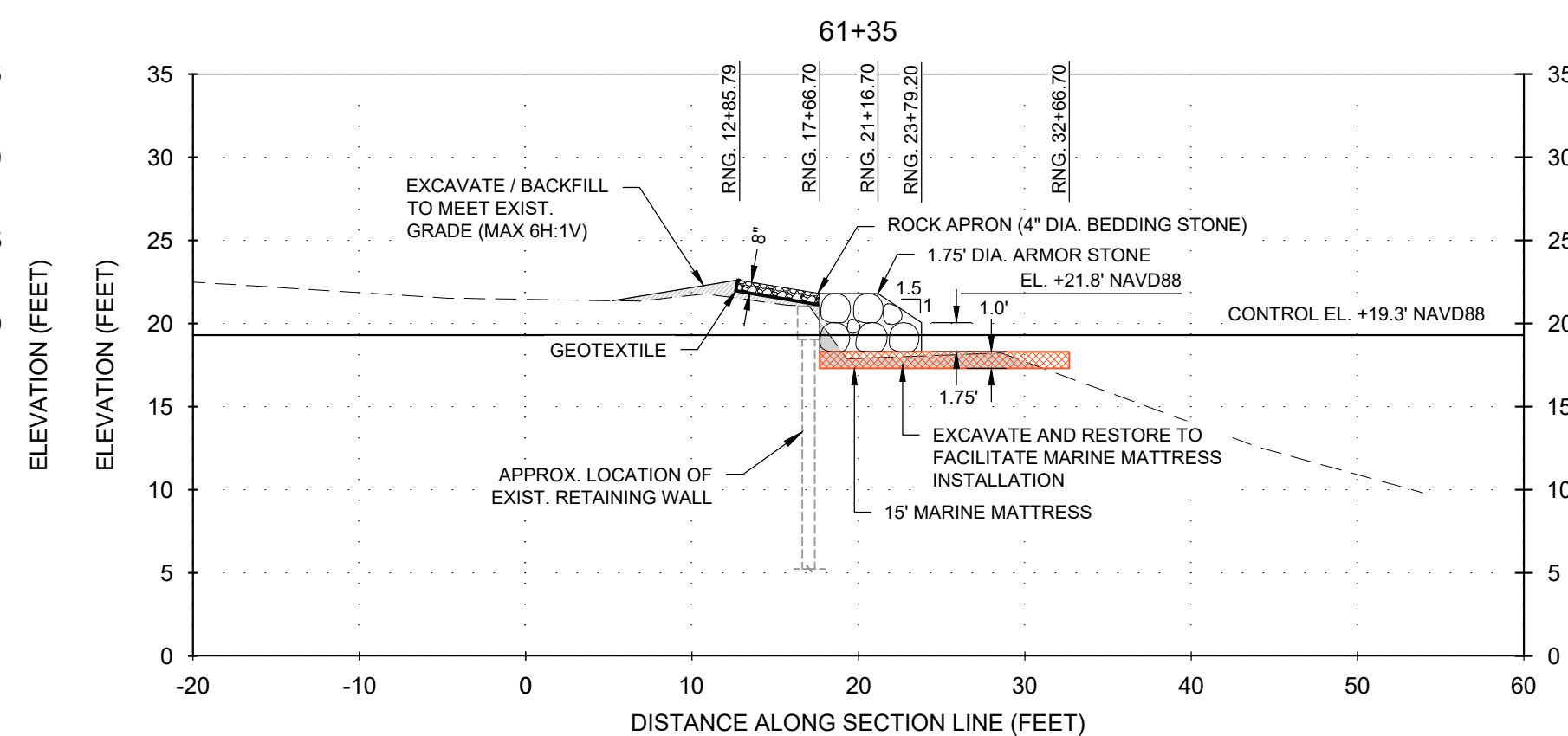
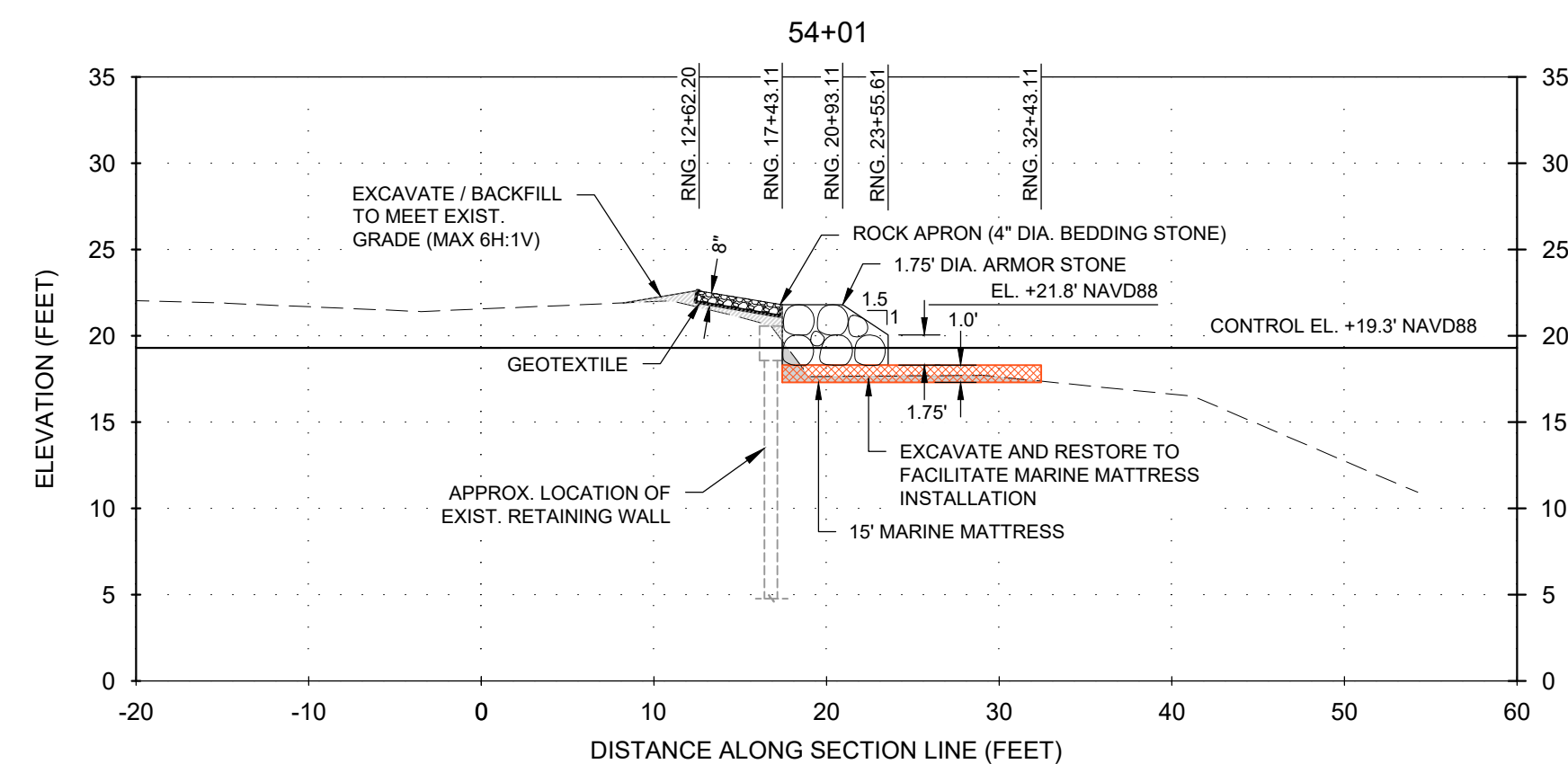
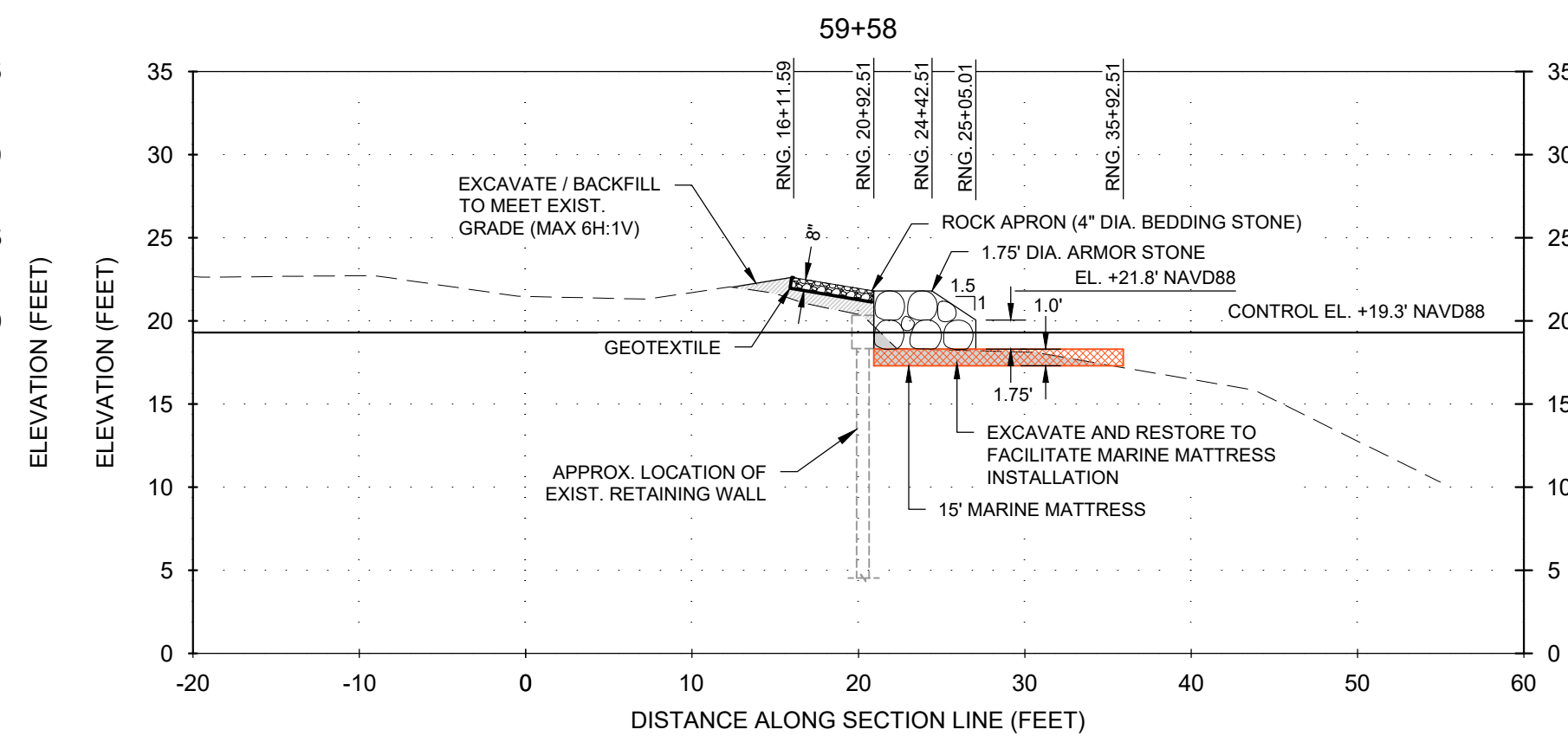
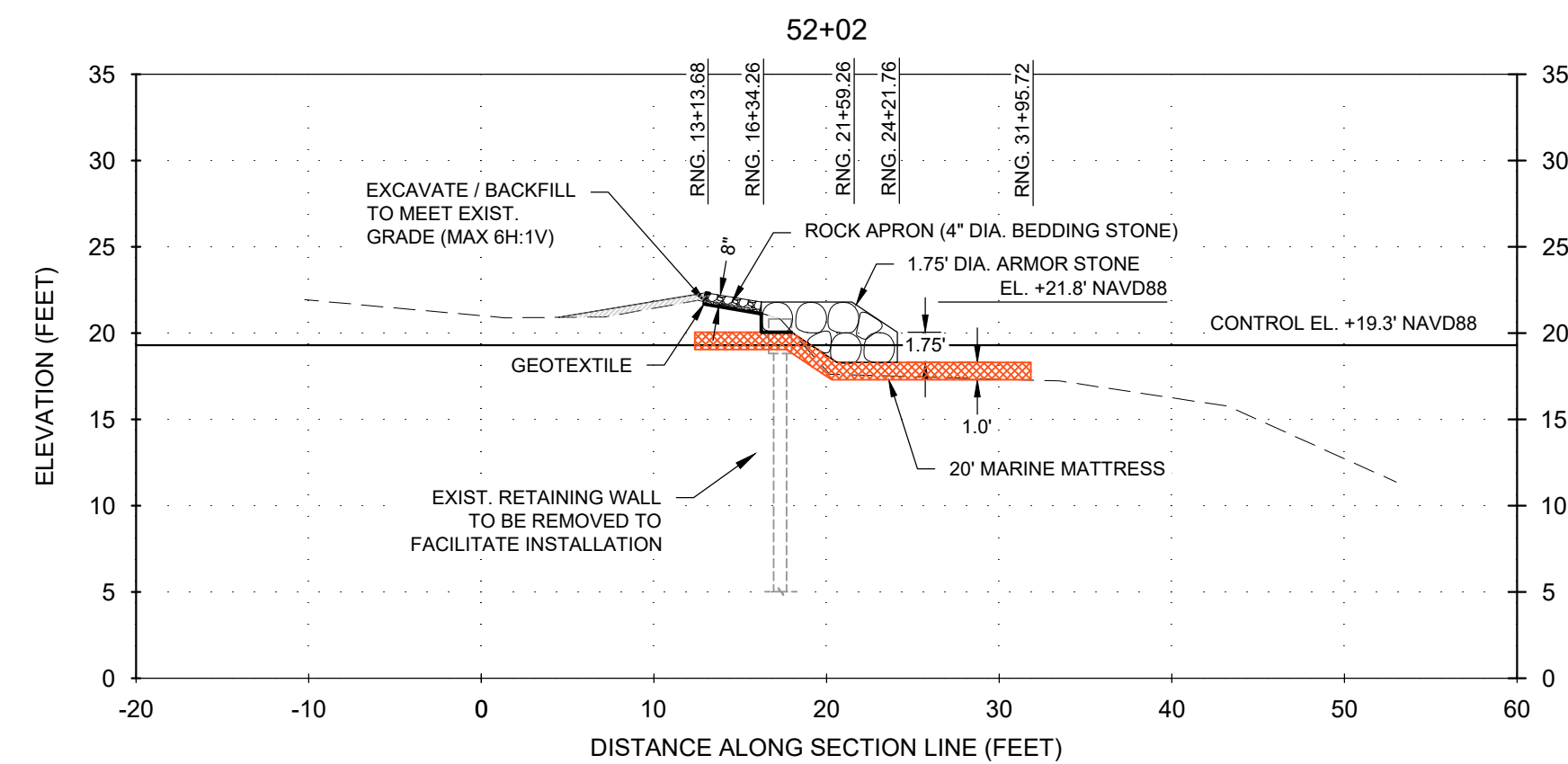
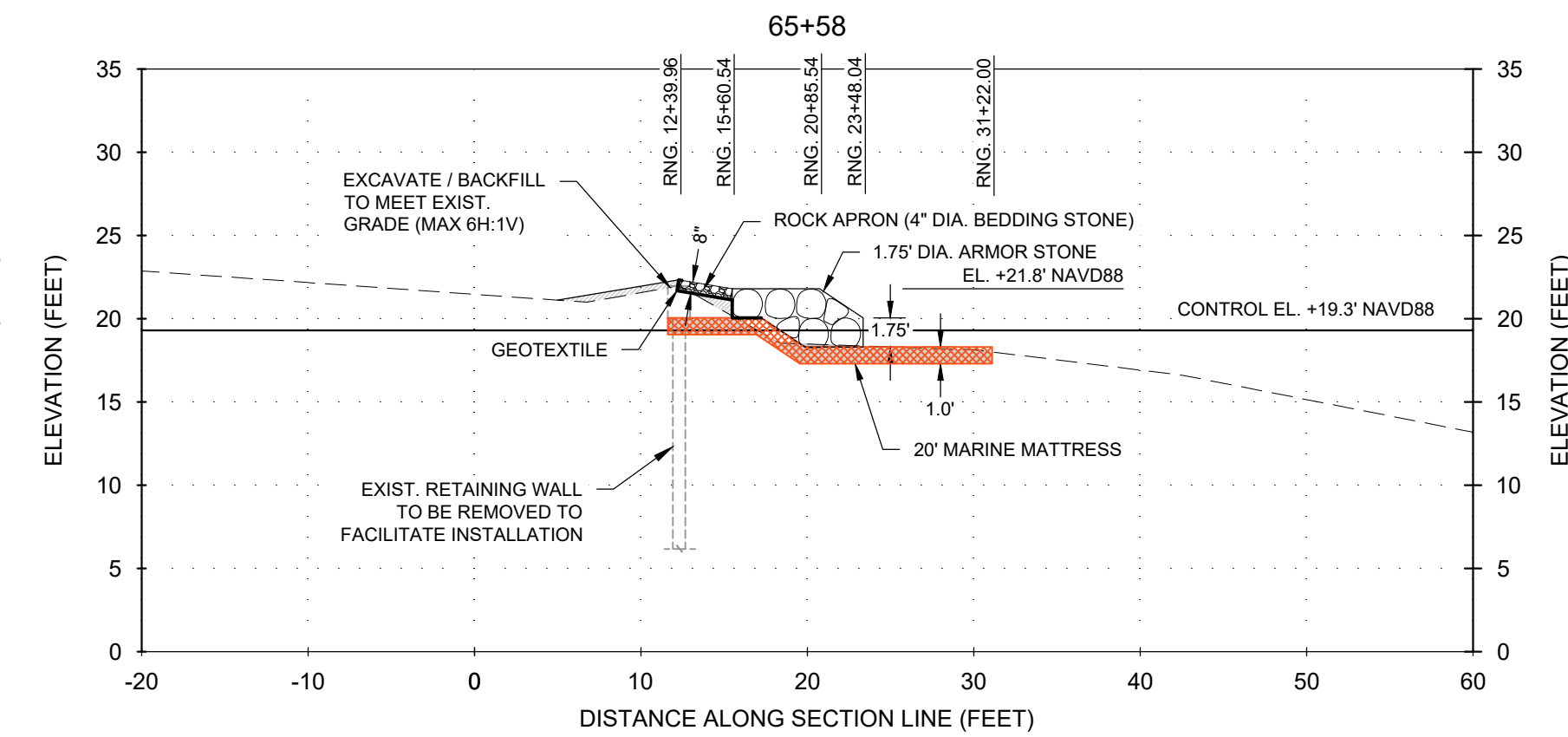
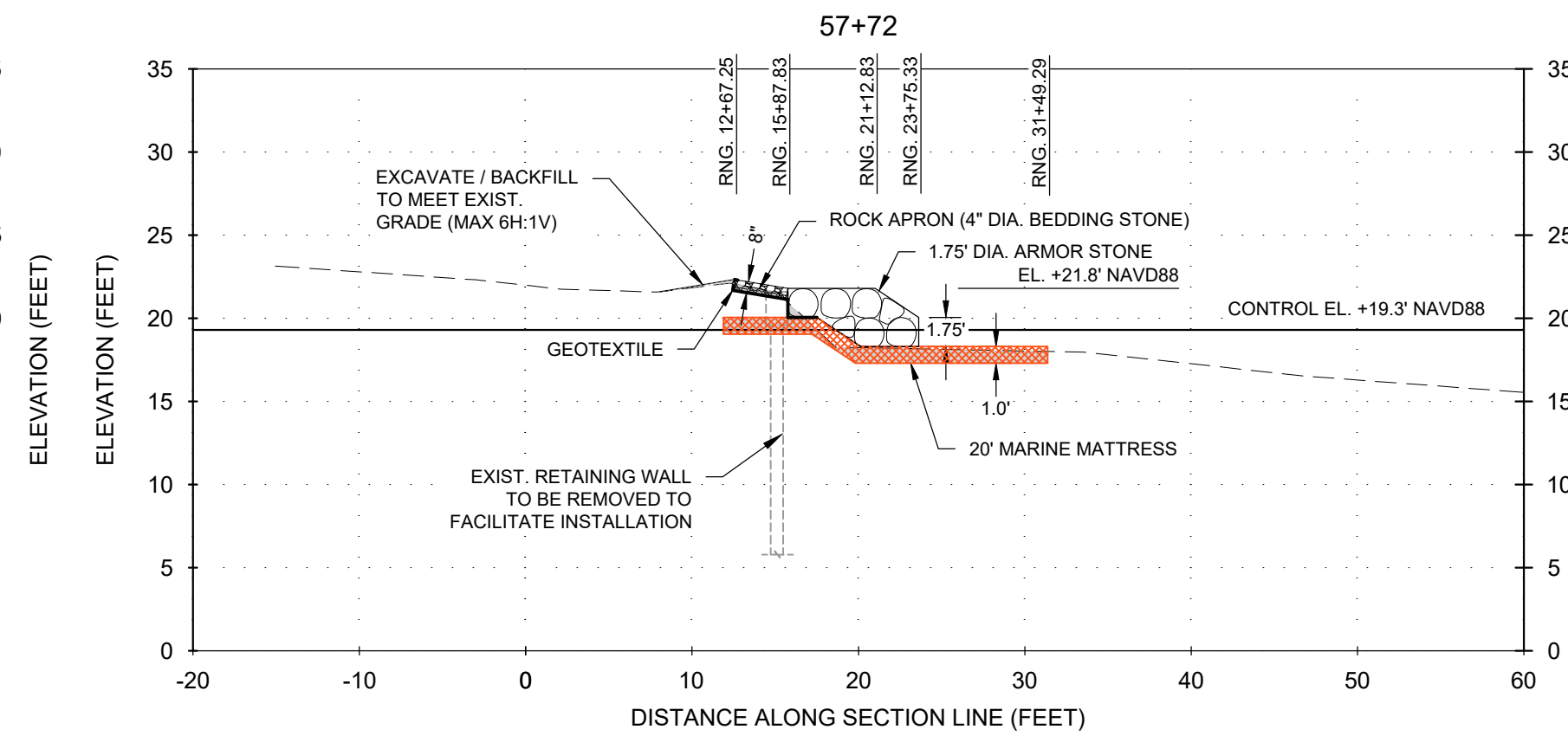
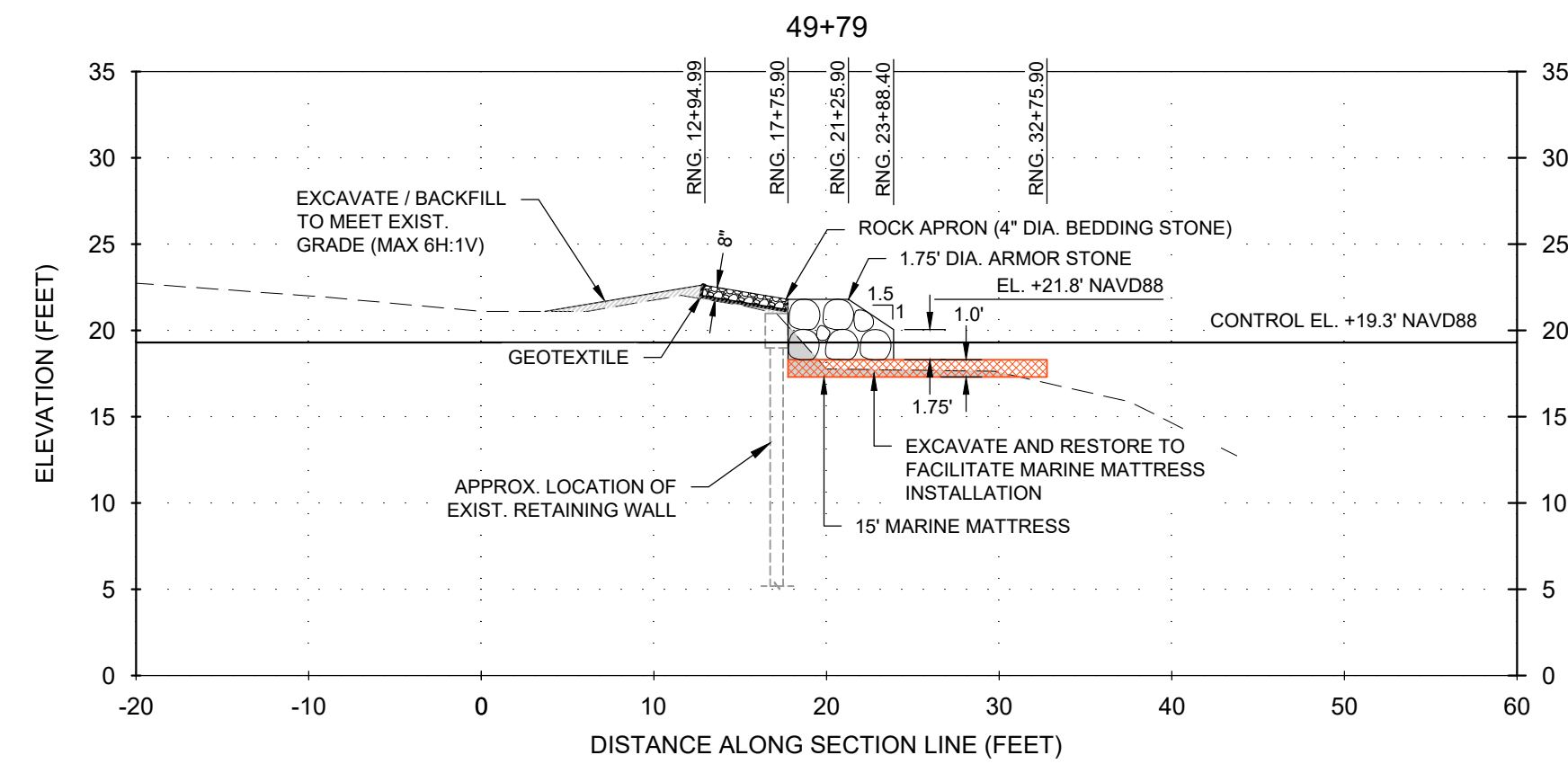
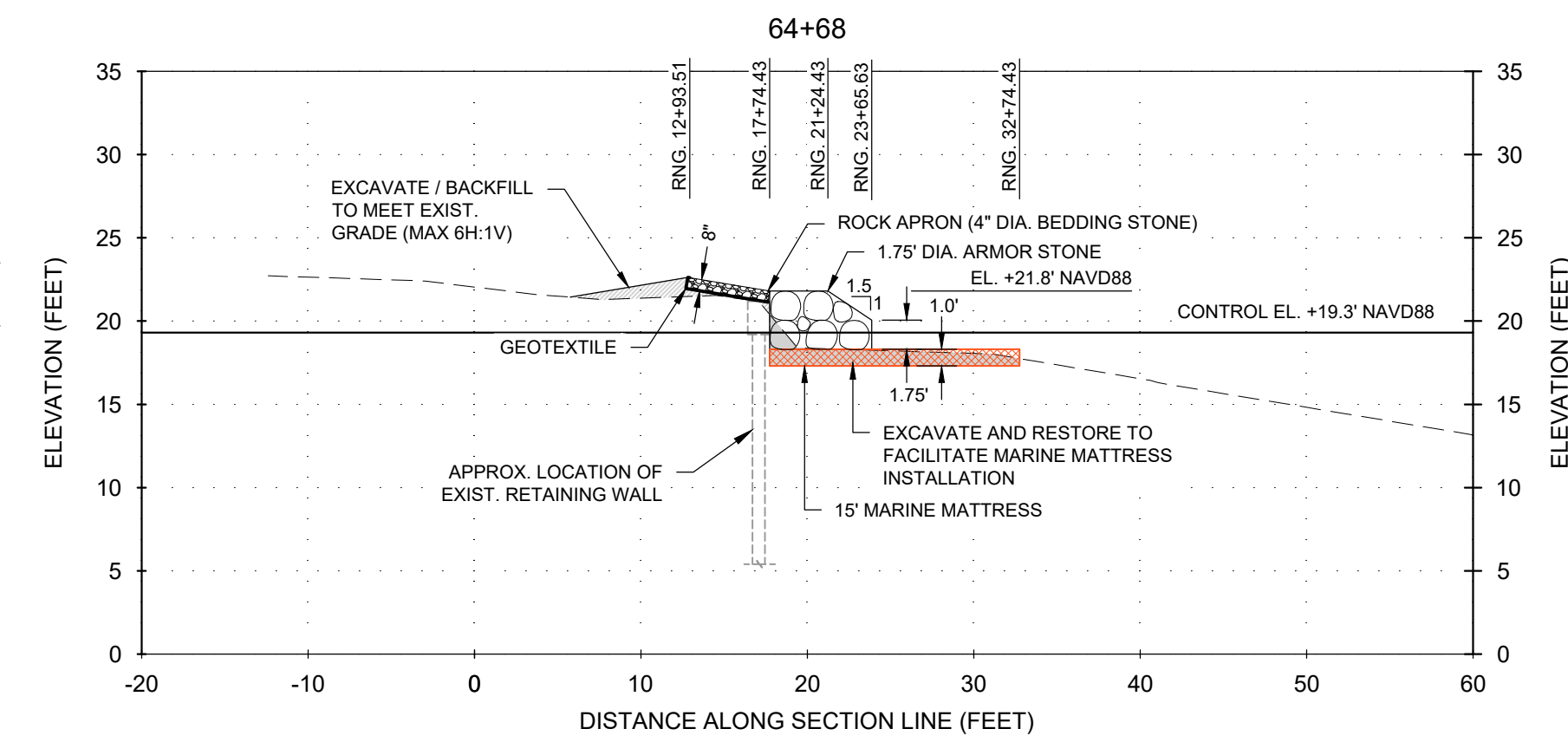
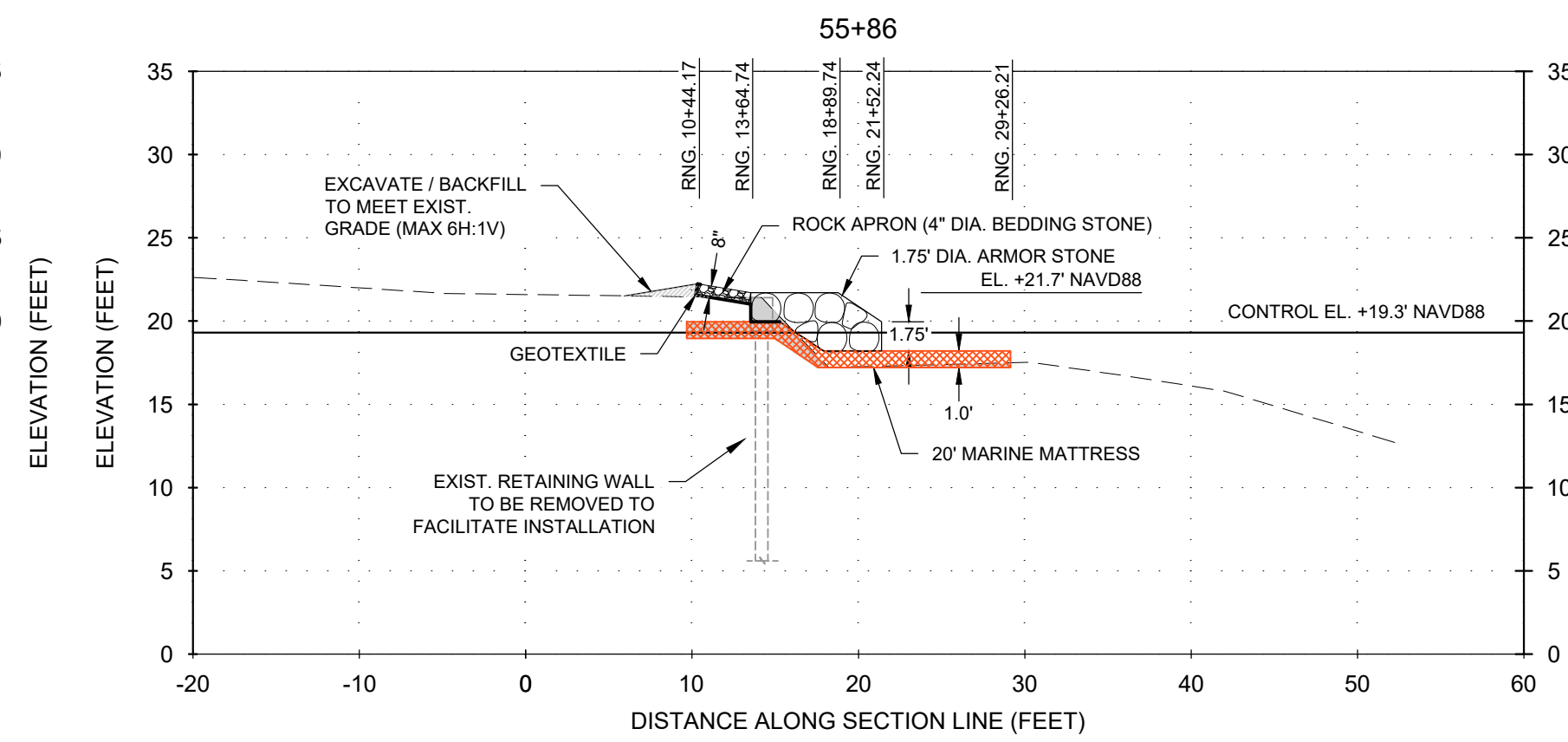
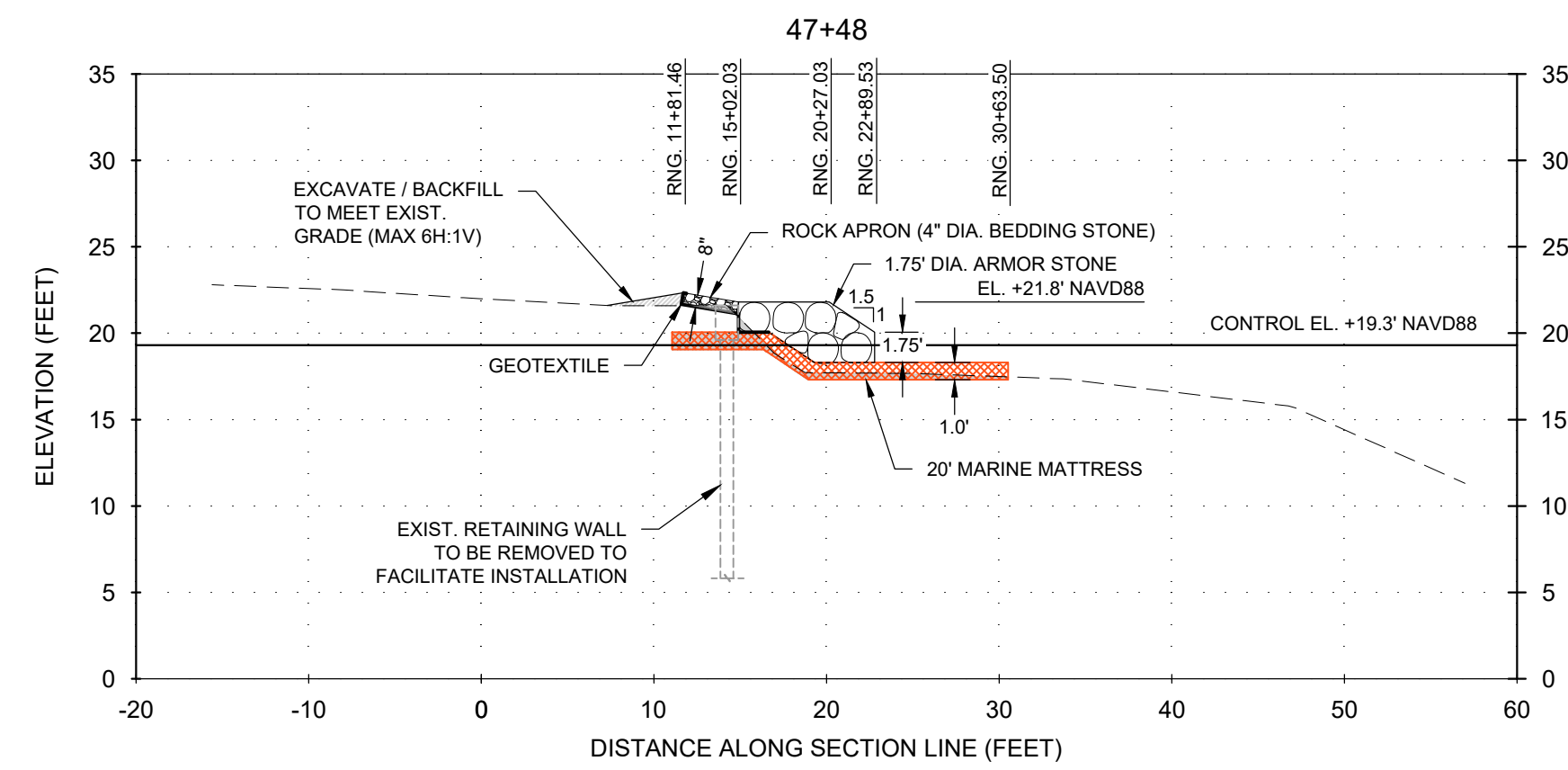
SEAL:

| | |
|----------------|-----------------------|
| CC PROJECT NO: | 126600 |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

SHEET TITLE

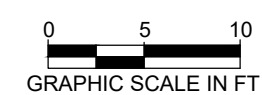
CROSS SECTION
(2 OF 3)

CM-2.2



NOTES:

1. SURVEY PERFORMED BY : BARRACO AND ASSOCIATES, DATED DECEMBER 17 & 18, 2024.
2. VERTICAL DATUM IS NORTH AMERICAN DATUM 1988 (NAVD88)



PROJECT:
BLUE LAKE SHORELINE
STABILIZATION

ADDRESS:
18701/18731 WILDBLUE BLVD
FORT MYERS, FL, 33913

CLIENT:
BLUE LAKE COMMUNITY
DEVELOPMENT
DISTRICT

ADDRESS:
27499 RIVERVIEW CENTER BLVD.,
#253
BONITA SPRINGS, FL 34134

ENGINEER:
CUMMINS CEDERBERG
COASTAL & MARINE ENGINEERING
201 ALHAMBRA CIRCLE, SUITE 601
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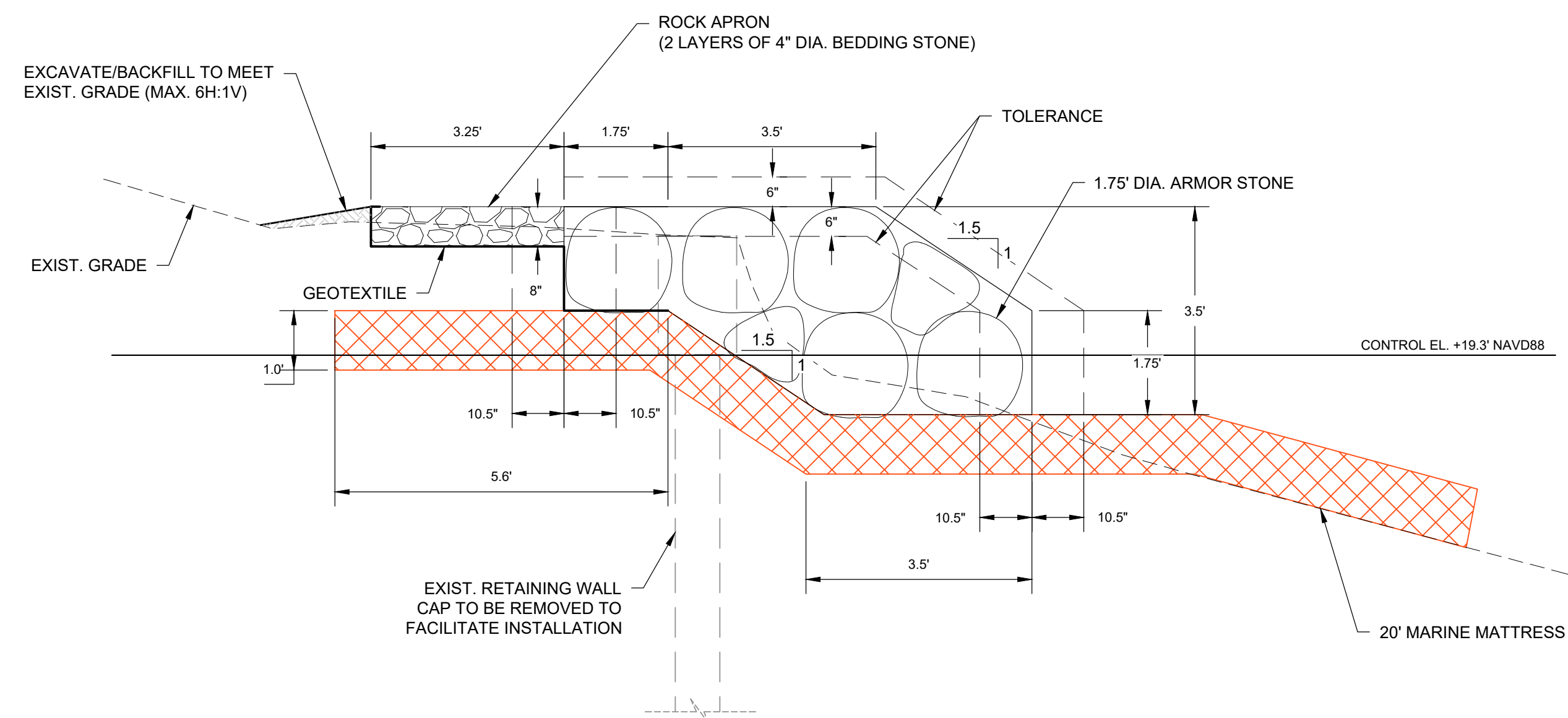
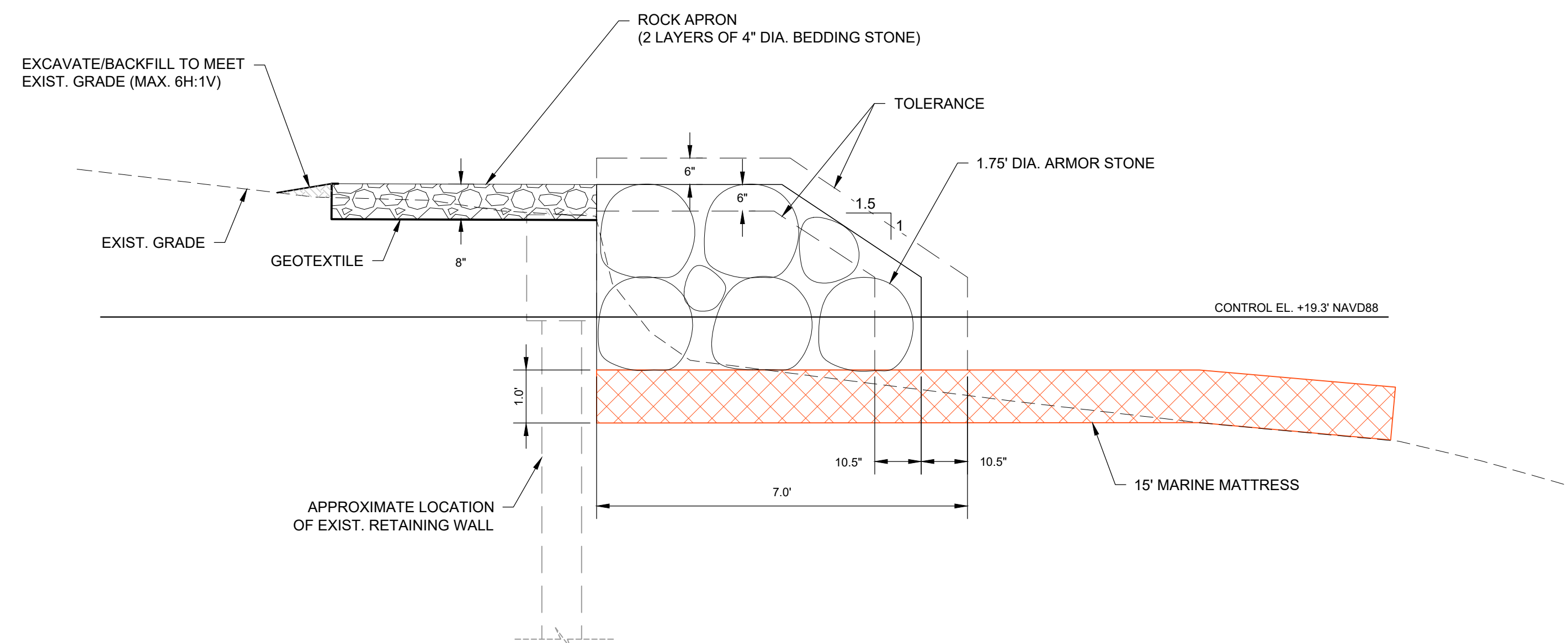
SEAL:

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|----------------|-----------------------|
| CC PROJECT NO: | 126600 |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

CROSS SECTION
(3 OF 3)

CM-2.3



0 5 10
GRAPHIC SCALE IN FT

PROJECT:
BLUE LAKE SHORELINE
STABILIZATION

ADDRESS:
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FORT MYERS, FL, 33913

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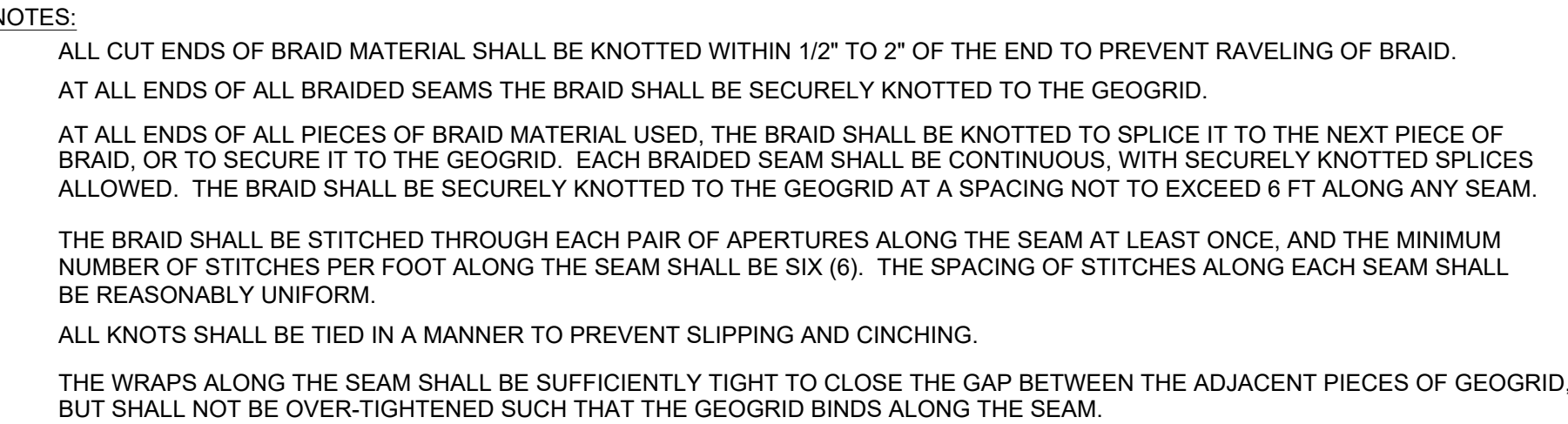
SEAL:

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| | |
|----------------|-----------------------|
| CC PROJECT NO: | 126600 |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

| |
|--|
| SHEET TITLE |
| <p>ROCK REVETMENT TYPICAL SECTIONS</p> |

CM-2.4



The diagram illustrates a cross-section of a stone fill mattress. At the top, a horizontal dimension line indicates the width of the mattress, with text above it stating: "GEOGRID LIFTING TABS ON EACH END BEYOND FILLED PORTION OF MATTRESS" and "20' TO 30' TYP. (FILLED PORTION) WITH 12\" MATTRESS THICKNESS". The mattress is composed of several layers: a top layer of "STONE FILL", a middle layer of "DIAPHRAGM", and a bottom layer of "STONE FILL". The top layer is shown with diagonal hatching. The bottom layer is shown with a stippled pattern. The middle layer is a dashed line. The entire assembly is labeled "MATTRESS". On the left, a "LIFTING TAB (TYP.)" is shown extending from the top layer. On the right, an "END" is indicated. The bottom of the mattress is labeled "BOTTOM". The side of the mattress is labeled "SIDE". Two types of connections are shown: (A) indicates a "BODKIN CONNECTION USING 3/8\" DIAMETER HDPE BODKIN ROD" and (B) indicates a "BRAIDED SEAM USING 3/16\" DIAMETER HIGH UV HDPE BRAID".

(A) INDICATES BODKIN CONNECTION USING 3/8" DIAMETER HDPE BODKIN ROD

(B) INDICATES BRAIDED SEAM USING 3/16" DIAMETER HIGH UV HDPE BRAID

TRITON® COASTAL & WATERWAY SYSTEMS

(2025-07-31)P 126600 BLUE LAKE SHORLINE.DWG



Tensor International Corporation | 2500 Northwinds Parkway, Suite 500 | Alpharetta, Georgia 30009
Toll Free: 1-888-828-5126 | Phone: 770-344-2090 | Fax: 770 344-2089 | www.tensarcorp.com

TYPICAL SPACING OF DIAPHRAGMS IS EVERY THREE APERTURE LENGTHS. A SHORTER SPACING MAY BE USED IN ORDER TO MATCH THE REQUIRED MATTRESS LENGTH. LENGTH OF END PIECES AND INTERNAL DIAPHRAGMS PIECES SHALL BE: FOR 12" (FILLED) MATTRESS THICKNESS: 2 GRID APERTURES LONG

• GEOGRID TABS BEYOND EACH END OF MATTRESS FOR TENSIONING AND LIFTING. ADD TO EACH END OF TOP AND BOTTOM: 2 FULL APERTURES FOR 12" THICKNESS

ONE EDGE OF EACH
SIDE PIECE
BRAIDED TO UNIT

MACHINE / ROLL DIRECTION OF
UX GRID FOR TOP, BOTTOM,
AND SIDES.

WIDTH OF GRID PIECE USED TO FORM EACH
SIDE SHALL BE EQUAL TO FILLED
THICKNESS OF MATTRESS

MACHINE / ROLL
DIRECTION OF UX
GRID FOR ENDS AND
DIAPHRAGMS.

Coastal & Marine Engineering

SEAL:

[illegible]

| | |
|----------------|-----------------------|
| CC PROJECT NO: | 126600 |
| DRAWN | GK |
| CHECKED | JPC |
| SCALE | REFERS TO 22X34 SHEET |

SHEET TITLE

MARINE MATTRESS DETAILS

CM-3.0

THIS DRAWING IS BASED UPON SPECIFIC PROPERTIES OF TENSAR PRODUCTS (GEOGRIDS, DRAINAGE COMPOSITES AND EROSION MEDIA), WHICH ARE PROPRIETARY TO TENSAR CORPORATION 1210 CITIZENS PARKWAY, MORROW, GA. 30260 AND ARE PROTECTED BY US AND INTERNATIONAL PATENTS, AND LICENSING AGREEMENTS. YOUR USE OF THE INFORMATION CONSTITUTES YOUR ACKNOWLEDGMENT OF THE PROPRIETARY NATURE OF THESE DRAWINGS AND THE TECHNOLOGY.

From: Carl A. Barraco <CarlB@barraco.net>
Sent: Thursday, August 28, 2025 5:18 PM
To: Kathleen Meneely <kmeneely@sdsinc.org>
Cc: Frank Savage <franks@barraco.net>; Rachel Wright <rachelw@barraco.net>
Subject: RE: Drainage Issue at 14930 Blue Bay Circle – Request for Resolution and Photos

Kathleen, at your request we reacted to the request of the 14930 Blue Bay Circle property owner to investigate drainage concerns in that rear yard drainage system. We made a site visit on August 22, 2025, and did not find any visible issues with the drainage on the lot down to as far as the next drainage inlet in that series. If additional investigation is requested, I suggest the next step be investigation of the drainage pipe(s) in that area with a video camera. To have a contractor mobilize, the CDD will have to agree to a minimum linear footage of pipe to be investigated. With your permission, we will have up to \$2000 worth of pipe videotaped in that area. Please advise. Thank you.

Carl A. Barraco, P.E.
President
Barraco and Associates, Inc.
Civil Engineers ~ Land Surveyors ~ Planners
2271 McGregor Boulevard
Fort Myers, FL 33901
Phone: (239) 461-3170
Fax: (239) 461-3169

File:

From: Carl A. Barraco <CarlB@barraco.net>
Sent: Wednesday, August 27, 2025 6:17 PM
To: Kathleen Meneely <kmeneely@sdsinc.org>
Cc: Ralph Casciano <rcasciano@outlook.com>; Doug Tarn <doug@barraco.net>; Frank Savage <franks@barraco.net>
Subject: RE: Drainage Issue at 14930 Blue Bay Circle – Request for Resolution and Photos

Based upon our findings in the field and as outlined in my e-mail below, our next step would be to have a contractor video investigate specific drainage pipes in that subject area. Then reading further in the email chain, that is apparently what was done in the previous situation that Mr. Casiano references in his emails. So, with your permission we will have that done. To have a contractor mobilize, the CDD will have to agree to a minimum linear footage of pipe to be investigated. With your permission, we will have up to \$2000 worth of pipe videotaped in that area. Please advise. Thank you.

Carl A. Barraco, P.E.
President
Barraco and Associates, Inc.
Civil Engineers ~ Land Surveyors ~ Planners
2271 McGregor Boulevard
Fort Myers, FL 33901











Blue Lake
Community Development District

**Financial Report For
August 2025**

**BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT
MONTHLY FINANCIAL REPORT
AUGUST 2025**

| | Annual Budget 10/1/24 - 9/30/25 | Actual Aug-25 | Year To Date Actual 10/1/24 - 8/31/25 |
|---|---------------------------------------|--------------------|--|
| REVENUES | | | |
| O & M Assessments | 581,132 | 0 | 581,661 |
| Debt Assessments | 661,941 | 0 | 661,942 |
| Other Revenues | 480 | 0 | 0 |
| Interest Income | 0 | 0 | 9,172 |
| Line of Credit Proceeds | 0 | 0 | 122,100 |
| Total Revenues | \$ 1,243,553 | \$ - | \$ 1,374,875 |
| EXPENDITURES | | | |
| Administrative Expenditures | | | |
| Supervisor Fees | 12,000 | 600 | 5,800 |
| Payroll Taxes (Employer) | 960 | 46 | 444 |
| Management | 30,576 | 2,548 | 28,028 |
| Legal | 40,000 | 0 | 13,736 |
| Legal Extraordinary - Retaining Wall, Etc. | 0 | 0 | 86,486 |
| Assessment Roll | 4,000 | 0 | 0 |
| Audit Fees | 4,100 | 0 | 3,800 |
| Arbitrage Rebate Fee | 650 | 0 | 650 |
| Insurance | 13,610 | 0 | 12,850 |
| Legal Advertisements | 6,000 | 0 | 3,520 |
| Miscellaneous | 2,000 | 231 | 2,107 |
| Postage | 700 | 603 | 1,103 |
| Office Supplies | 1,050 | 315 | 1,765 |
| Dues & Subscriptions | 175 | 0 | 175 |
| Trustee Fee | 4,050 | 0 | 4,246 |
| Continuing Disclosure Fee | 1,000 | 0 | 0 |
| Deficit Funding (FY 2022/2023) | 41,373 | 0 | 0 |
| Payroll Processing Fee | 0 | 52 | 696 |
| Total Administrative Expenditures | 162,244 | 4,395 | 165,406 |
| Maintenance Expenditures | | | |
| Engineering/Inspections | 40,000 | 0 | 42,513 |
| Engineering Extraordinary - Retaining Wall | 0 | 0 | 77,119 |
| Mitigation Monitoring | 138,500 | 0 | 211,353 |
| Lake Maintenance | 60,000 | 2,866 | 42,330 |
| Flow Way Inspection Certification | 5,000 | 0 | 0 |
| Detention Area Maintenance | 36,000 | 3,010 | 32,429 |
| Miscellaneous Maintenance (Fence Repairs, Stabilization Analysis, etc.) | 55,000 | 0 | 29,612 |
| Maintenance Reserve | 50,000 | 0 | 0 |
| Vista Dry Retention Area | 0 | 0 | 3,899 |
| Capital Outlay - Lake Bank | 0 | 0 | 133,400 |
| Total Maintenance Expenditures | 384,500 | 5,876 | 572,655 |
| Total Expenditures | \$ 546,744 | \$ 10,271 | \$ 738,061 |
| REVENUES LESS EXPENDITURES | \$ 696,809 | \$ (10,271) | \$ 636,814 |
| Bond Payments | (623,875) | 0 | (636,903) |
| BALANCE | \$ 72,934 | \$ (10,271) | \$ (89) |
| County Appraiser & Tax Collector Fee | (24,312) | 0 | (1,201) |
| Discounts For Early Payments | (48,622) | 0 | (45,820) |
| EXCESS/ (SHORTFALL) | \$ - | \$ (10,271) | \$ (47,110) |
| Carryover From Prior Year | 0 | 0 | 0 |
| NET EXCESS/ (SHORTFALL) | \$ - | \$ (10,271) | \$ (47,110) |

Note - Draw From Lake Bank Repair Project Line Of Credit: \$133,400.

| | |
|-----------------------------------|---------------|
| Bank Balance As Of 8/31/25 | \$ 237,364.87 |
| Accounts Payable As Of 8/31/25 | \$ 31,657.43 |
| Line of Credit As Of 8/31/25 | \$ 133,400.00 |
| Accounts Receivable As Of 8/31/25 | \$ - |
| Available Funds As Of 8/31/25 | \$ 72,307.44 |

BLUE LAKE CDD
TAX COLLECTIONS
2024/2025

| # | ID# | PAYMENT FROM | DATE | FOR | Tax Collect Receipts | Interest Received | Commissions Paid | Discount | Net From Tax Collector | O & M Assessment Income (Before Discounts & Fee) | Debt Assessment Income (Before Discounts & Fee) | O & M Assessment Income (After Discounts & Fee) | Debt Assessment Income (After Discounts & Fee) | Debt Assessments Paid to Trustee |
|----|-----|-----------------------------------|----------|--------------------|------------------------|-------------------|------------------|----------------|------------------------|--|---|---|--|----------------------------------|
| | | | | | | | | | \$1,243,075.32 | \$581,132.00 | \$ 661,941.00 | \$581,132.00 | \$ 661,941.00 | |
| | | | | | | | | | \$1,170,139.00 | \$546,264.00 | \$ 623,875.00 | \$546,264.00 | \$ 623,875.00 | \$ 623,875.00 |
| 1 | | Paid to Lee County Prop Appraiser | 11/12/24 | Fees | | | | | \$ (423.00) | | | \$ (198.00) | \$ (225.00) | |
| 2 | 1 | Lee County Tax Collector | 11/14/24 | NAV Taxes | \$ 4,474.37 | | \$ (778.32) | \$ (234.91) | \$ 3,461.14 | \$ 2,091.77 | \$ 2,382.60 | \$ 1,618.04 | \$ 1,843.10 | \$ 1,618.10 |
| 3 | 2 | Lee County Tax Collector | 11/26/24 | NAV Taxes | \$ 227,303.84 | | | \$ (9,091.89) | \$ 218,211.95 | \$ 106,264.54 | \$ 121,039.30 | \$ 102,014.05 | \$ 116,197.90 | \$ 116,197.90 |
| 4 | 3 | Lee County Tax Collector | 12/11/24 | NAV Taxes | \$ 779,869.44 | | | \$ (31,193.92) | \$ 748,675.52 | \$ 364,588.94 | \$ 415,280.50 | \$ 350,005.77 | \$ 398,669.75 | \$ 398,669.75 |
| 5 | 4 | Lee County Tax Collector | 12/30/24 | NAV Taxes | \$ 66,092.31 | | | \$ (2,536.35) | \$ 63,555.96 | \$ 30,898.11 | \$ 35,194.20 | \$ 29,712.36 | \$ 33,843.60 | \$ 33,843.60 |
| 6 | 5 | Lee County Tax Collector | 01/15/25 | NAV Taxes | \$ 44,524.43 | | | \$ (1,335.75) | \$ 43,188.68 | \$ 20,815.13 | \$ 23,709.30 | \$ 20,190.63 | \$ 22,998.05 | \$ 22,998.05 |
| 7 | 6 | Lee County Tax Collector | 02/13/25 | NAV Taxes | \$ 52,127.12 | | | \$ (1,164.35) | \$ 50,962.77 | \$ 24,369.42 | \$ 27,757.70 | \$ 23,825.07 | \$ 27,137.70 | \$ 27,137.70 |
| 8 | 7 | Lee County Tax Collector | 03/13/25 | NAV Taxes | \$ 20,389.88 | | | \$ (263.31) | \$ 20,126.57 | \$ 9,532.23 | \$ 10,857.65 | \$ 9,409.12 | \$ 10,717.45 | \$ 10,717.45 |
| 9 | 8 | Lee County Tax Collector | 04/11/25 | NAV Taxes | \$ 30,689.37 | | | | \$ 30,689.37 | \$ 14,347.27 | \$ 16,342.10 | \$ 14,347.27 | \$ 16,342.10 | \$ 16,342.10 |
| 10 | 9 | Lee County Tax Collector | 05/15/25 | NAV Taxes/Interest | \$ 3,819.36 | \$ 114.58 | | | \$ 3,933.94 | \$ 1,900.09 | \$ 2,033.85 | \$ 1,900.09 | \$ 2,033.85 | \$ 2,033.85 |
| 11 | 10 | Lee County Tax Collector | 06/11/25 | NAV Taxes/Interest | \$ 5,407.68 | \$ 162.24 | | | \$ 5,569.92 | \$ 2,690.32 | \$ 2,879.60 | \$ 2,690.32 | \$ 2,879.60 | \$ 2,879.60 |
| 12 | 11 | Lee County Tax Collector | 07/15/25 | NAV Taxes/Interest | \$ 8,377.52 | \$ 251.31 | | | \$ 8,628.83 | \$ 4,163.53 | \$ 4,465.30 | \$ 4,163.53 | \$ 4,465.30 | \$ 4,465.30 |
| 13 | | | | | | | | | \$ - | | | | | \$ - |
| 14 | | | | | | | | | \$ - | | | | | \$ - |
| 15 | | | | | | | | | \$ - | | | | | \$ - |
| | | | | | \$ 1,243,075.32 | \$ 528.13 | \$ (1,201.32) | \$ (45,820.48) | \$ 1,196,581.65 | \$ 581,661.35 | \$ 661,942.10 | \$ 559,678.25 | \$ 636,903.40 | \$ 636,903.40 |

| Assessment Roll | |
|-----------------|---------------------|
| O&M | 581,134.32 |
| Debt | 661,941.00 |
| | <u>1,243,075.32</u> |

| Collections | |
|-------------|--|
| 100.00% | |

Note: \$1,243,073, \$581,132 and \$661,941 are 2024/2025 Budgeted assessments before discounts and fees.
\$1,170,139, \$546,264 and \$623,875 are 2024/2025 Budgeted assessments after discounts and fees.

| | |
|-----------------|-----------------|
| \$ 1,243,075.32 | |
| \$ 528.13 | \$ 1,196,581.65 |
| \$ (581,661.35) | \$ (559,678.25) |
| \$ (661,942.10) | \$ (636,903.40) |
| \$ - | \$ - |