

BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT

LEE COUNTY

REGULAR BOARD MEETING SEPTEMBER 9, 2025 3:00 p.m.

Special District Services, Inc.
The Oaks Center
2501A Burns Road
Palm Beach Gardens, FL 33410

www.bluelakecdd.org

561.630.4922 Telephone 877.SDS.4922 Toll Free 561.630.4923 Facsimile

AGENDA BLUE LAKE

COMMUNITY DEVELOPMENT DISTRICT

WildBlue Social Building 18721 WildBlue Boulevard Fort Myers, Florida 33913

REGULAR BOARD MEETING September 9, 2025

3:00 P.M.

Call- In: (800) 743-4099 Passcode: 7423990 (for residents)

A.	Call to Order
B.	Proof of Publication
C.	Establish Quorum
D.	Additions or Deletions to Agenda
E.	Approval of Minutes
	1. August 12, 2025 Regular Board Meeting & Public Hearing
F.	Old Business
	1. Update on Lake Bank Repair Project
	2. Continued Discussion on Residential Dock Alternatives
G.	New Business
	1. Consider Approval of TV-ing Specific Drainage Line
H.	Administrative Matters
	1. Manager's Report
	• Financials
	 Next Meeting – September 23, 2025 & October 14, 2025
	2. Engineer's Report
	3. Attorney's Report
I.	Comments from the Public for Items Not on the Agenda
J.	Board Member Comments
K.	Adjourn

Publication Date Subcategory
2025-08-29 Miscellaneous Notices

BLUE LAKE COMMUNITY
DEVELOPMENT DISTRICT

NOTICE OF SEPTEMBER 2025 REGULAR BOARD MEETINGS

NOTICE IS HEREBY GIVEN that the Board of Supervisors of the Blue Lake Community Development District will hold two (2) Regular Board Meetings in the WildBlue Social Building located at 18721 WildBlue Boulevard, Fort Myers, Florida 33913 at 3:00 p.m. on September 9, 2025, and September 23, 2025.

The purpose of the meetings is to address any business to properly come before the Board. The meetings are open to the public and will be conducted in accordance with the provisions of Florida law. A copy of the agendas for these meeting may be obtained from the Districts website or by contacting the District Manager at 239-444-5790 and/or toll free at 1-877-737-4922 prior to the date of the meetings.

From time to time one or two Supervisors may participate by telephone; therefore, a speaker telephone will be present at the meeting location so that Supervisors may be fully informed of the discussions taking place. Said meetings may be continued as found necessary to a time and place specified on the record.

If any person decides to appeal any decision made with respect to any matter considered at these meetings, such person will need a record of the proceedings and such person may need to ensure that a verbatim record of the proceedings is made at his or her own expense and which record includes the testimony and evidence on which the appeal is based.

In accordance with the provisions of the Americans with Disabilities Act, any person requiring special accommodations or an interpreter to participate at these meetings should contact the District Manager at 239-444-5790 and/or toll free at 1-877-737-4922 at least seven (7) days prior to the dates of the meetings. Meetings may be cancelled from time to time without advertised notice.

BLUE LAKE COMMUNITY

BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT www.bluelakecdd.org 8/29/25 #11606416

BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT PUBLIC HEARING & REGULAR BOARD MEETING AUGUST 12, 2025

A. CALL TO ORDER

The August 12, 2025, Regular Board Meeting of the Blue Lake Community Development District (the "District") was called to order at 3:01 p.m. in the WildBlue Social Building located at 18721 WildBlue Boulevard, Fort Myers, Florida 33966.

B. PROOF OF PUBLICATION

Proof of publication was presented which showed that notice of the Regular Board Meeting had been published in the *Naples Daily News* on July 23, 2025, and July 30, 2025, as legally required.

C. ESTABLISH A QUORUM

It was determined that the attendance of the following Board Members constituted a quorum:

Chairman	Chris Hasty	Present
Vice Chairman	David Bello	Present
Supervisor	Norbie Larsen	Present
Supervisor	Mark Rapponotti	Present
Supervisor	Terry Vette	Present

Also present were the following Staff Members:

District Manager	Kathleen Meneely	Special District Services, Inc.
District Counsel	Wes Haber (via phone)	Kutak Rock LLP
District Engineer	Frank Savage	Barraco and Associates, Inc.

Also present were:

Paul Kwirt, Jim Spaulding, Evan Auster, Ellie DeNietto, Nydell & Marc Nusbaum, Tom & Susan Abernathy, Joe Gaty, Barbara Wright, Dave Pazdernik, Bob Kudlascik, Barb & Wally Bartelt, Mark Nelson, James & Jeannie Towgood, Donald Bobrow and Ted Kozlowski.

Other residents were present via phone.

D. ADDITIONS OR DELETIONS TO AGENDA

There were no additions or deletions to the agenda.

E. APPROVAL OF MINUTES

1. July 22, 2025, Regular Board Meeting

The minutes of the July 22, 2025, Regular Board Meeting were presented for consideration.

A **motion** was made by Mr. Vette, seconded by Mr. Bello and passed unanimously approving the minutes of the July 22, 2025, Regular Board Meeting, as presented.

Ms. Meneely then recessed the Regular Board Meeting and opened the Public Hearing.

F. PUBLIC HEARING

1. Proof of Publication

Proof of publication was presented which showed that notice of the Public Hearing had been published in the *Naples Daily News* on July 23, 2025, and July 30, 2025, as legally required.

2. Receive Public Comment on Fiscal Year 2025/2026 Final Budget

Mr. Hasty summarized the budget and Ms. Meneely went over the increases which are primarily attributed to funding the lawsuit filed against Lennar for lake bank repairs. Comments were then received from the public including questions about the litigation lawyers experience, recouping litigation costs, reserves, and the timing of assessments. A question was asked about the confidential settlement originally offered by Lennar and Mr. Bello responded that it was \$2.9 Million. He noted the amount was to include HOA issues as well, and while off the table, does not come close to covering the costs of the repairs.

3. Consider Resolution No. 2025-02 – Adopting a Fiscal Year 2025/2026 Final Budget

Resolution No. 2025-02 was presented, entitled:

RESOLUTION 2025-02 [FY 2025/2026 APPROPRIATION RESOLUTION]

THE ANNUAL APPROPRIATION RESOLUTION OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT ("DISTRICT") RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET(S) FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2025, AND ENDING SEPTEMBER 30, 2026; AUTHORIZING BUDGET AMENDMENTS; AND PROVIDING AN EFFECTIVE DATE.

A **motion** was made by Mr. Bello, seconded by Mr. Vette and passed unanimously adopting Resolution No. 2025-02, as presented.

4. Consider Resolution No. 2025-03 – Adopting an Annual Assessment Resolution for Fiscal Year 2025/2026

Resolution No. 2025-03 was presented, entitled:

RESOLUTION 2025-03 [FY 2025/2026 ASSESSMENT RESOLUTION]

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT PROVIDING FOR FUNDING FOR THE FY 2025/2026 ADOPTED BUDGET(S); PROVIDING FOR THE

COLLECTION AND ENFORCEMENT OF SPECIAL ASSESSMENTS, INCLUDING BUT NOT LIMITED TO PENALTIES AND INTEREST THEREON; CERTIFYING AN ASSESSMENT ROLL; PROVIDING FOR AMENDMENTS TO THE ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE: AND PROVIDING AN EFFECTIVE DATE.

A **motion** was made by Mr. Larsen, seconded by Mr. Vette and passed unanimously adopting Resolution No. 2025-03, as presented.

Ms. Meneely then closed the Public Hearing and reconvened the Regular Board Meeting.

F. OLD BUSINESS

1. Update on Lake Bank Repair Project

Mr. Savage stated that a parallel path was being taken to design and repair the wall and gave the background of the project. He noted that Cummins Cederberg's schedule would be circulated and showed an aggressive movement to get out to bid around mid-October with approval of 90% of plans in early September and construction award in mid-December. There was general discussion about contacting companies who may be interested in proposing to do the repairs with Mr. Hasty noting that all must receive the same information. Mr. Hasty noted that he would work with Mr. Savage on the Gantt chart and how to check off tasks.

2. Continued Discussion on Residential Dock Alternatives

Mr. Bello gave a background noting that those residents with docks, of which there are 21, have two potential options. The first option would require that they move their docks at their expense during the repairs. The other option would be that they are allowed to leave in place and toe stone will be used around it which will offer not as much protection but would not impact the efficiency of the entire project. He noted that this would require the homeowner to sign a recorded release and be responsible for their own repairs should future repairs be needed. He also stated that this was for current docks only.

After discussion, a motion was made by Mr. Vette, seconded by Mr. Bello and passed unanimously to give homeowners the option to leave in place and further authorizes the attorney to develop a release.

Mr. Hasty reiterated that if a homeowner takes this option, they are taking on a liability which will be recorded for future purchasers of their homes.

H. NEW BUSINESS

1. Consider Resolution No. 2025-04 – Adopting a Fiscal Year 2025/2026 Meeting Schedule

Resolution No. 2025-04 was presented, entitled:

RESOLUTION NO. 2025-04

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT, ESTABLISHING A REGULAR MEETING SCHEDULE FOR FISCAL YEAR 2025/2026 AND SETTING THE TIME AND LOCATION OF SAID DISTRICT MEETINGS; AND PROVIDING AN EFFECTIVE DATE.

Discussion ensued regarding the November, December and May dates on the schedule. Due to their proximity to holidays, they were removed from the schedule.

A **motion** was made by Mr. Vette, seconded by Mr. Rapponotti and passed unanimously adopting Resolution No. 2025-04, as amended.

2. Consider Resolution No. 2025-05 – Authorizing Validation

Resolution No. 2025-05 was presented, entitled:

RESOLUTION NO. 2025-05

AUTHORIZING THE ISSUANCE OF NOT TO EXCEED \$20,000,000 AGGREGATE PRINCIPAL AMOUNT OF BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT BONDS, IN ONE OR MORE SERIES, TO PAY ALL OR A PORTION OF THE DESIGN, ACQUISITION AND CONSTRUCTION COSTS OF CERTAIN PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, THE REPAIR AND REPLACEMENT OF LAKE RETAINING WALLS RELATING TO THE DISTRICT'S STORMWATER MANAGEMENT AND CONTROL FACILITIES; AND RELATED INCIDENTAL COSTS, INCLUDING PROFESSIONAL FEES (COLLECTIVELY, THE "HURRICANE REPAIR PROJECT"), PURSUANT TO CHAPTER 190, FLORIDA STATUTES, AS AMENDED; PROVIDING FOR THE APPOINTMENT OF A TRUSTEE; AUTHORIZING THE APPLICATION OF THE MASTER TRUST INDENTURE DATED AS OF MAY 1, 2019; APPROVING THE FORM AND AUTHORIZING THE EXECUTION AND DELIVERY OF SUPPLEMENTAL INDENTURE IN SUBSTANTIALLY THE FORM ATTACHED HERETO: PROVIDING THAT SUCH BONDS SHALL NOT CONSTITUTE A DEBT, LIABILITY OR OBLIGATION OF THE BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT (EXCEPT AS OTHERWISE PROVIDED HEREIN), LEE COUNTY, FLORIDA, THE STATE OF FLORIDA OR OF ANY OTHER POLITICAL SUBDIVISION THEREOF, BUT SHALL BE PAYABLE SOLELY FROM SPECIAL ASSESSMENTS ASSESSED AND LEVIED ON THE PROPERTY WITHIN THE DISTRICT BENEFITED BY THE IMPROVEMENTS AND SUBJECT TO ASSESSMENT: PROVIDING FOR THE JUDICIAL VALIDATION OF SUCH BONDS; AND PROVIDING FOR OTHER RELATED MATTERS.

Mr. Haber stated that, working with Greenberg Traurig and as discussed in prior meetings, the CDD anticipates issuing bonds which exceed five years and therefore must be validated. He noted that \$4.6 Million is still available from the original bond but that is not adequate moving forward for the repairs. He noted that the process had been designed to provide flexibility with \$40 Million in bonds authorized and is set up for a worst case scenario without obligation for issuance. He advised that a complaint is filed with Lee County, which takes about 70-90 days, and then there is a 30 day appeal period. Discussion ensued and Mr. Vette asked about filing for less with Mr. Larsen agreeing that a lesser amount was adequate as the revetment costs were known. He continued that he preferred that future Boards do not have that money out there and that they use the same process if ever required.

A **motion** was made by Mr. Vette, seconded by Mr. Larsen and passed unanimously adopting Resolution No. 2025-05 with the complaint filed for \$20 Million which includes the cost of bond issuance.

I. ADMINISTRATIVE MATTERS

1. Manager's Report

Ms. Meneely presented the financials. There were no questions from the Board Members.

Ms. Meneely noted that the next meeting was scheduled for September 9, 2025. Messrs. Larsen and Vette noted that they would be calling in for that meeting.

2. Engineer's Report

There was no Engineer's Report at this time.

3. Attorney's Report

Mr. Haber stated that he had received confirmation that the case had been filed against Lennar and subcontractors and that shade sessions could now be held. He stated that the Board could decide when they want to schedule the shade sessions, noting that it was easiest to do after Regular Board meetings.

J. COMMENTS FROM THE PUBLIC FOR ITEMS NOT ON THE AGENDA

There were no comments from the public for items not on the agenda.

K. BOARD MEMBER COMMENTS

Mr. Hasty advised that he was leaving Lennar and had planned on resigning from the CDD, noting that his seat expires in November of 2026 and it is a landowner seat that will go to general election at that time. He offered to stay in his seat so that there would be a quorum for going over the 60% plans, but that the Board should start preparing to fill the seat.

Mr. Larsen asked about people calling in and being able to give an opinion. Ms. Meneely gave the background whereby that was previously allowed but was very disruptive as people did not mute their phones. Therefore the Board made a policy that one must be present in order to comment or submit comments/questions prior to a meeting. She noted that this was the same process used in City, County and other government meetings. Mr. Larsen commented that he believed people should be able to call in and speak.

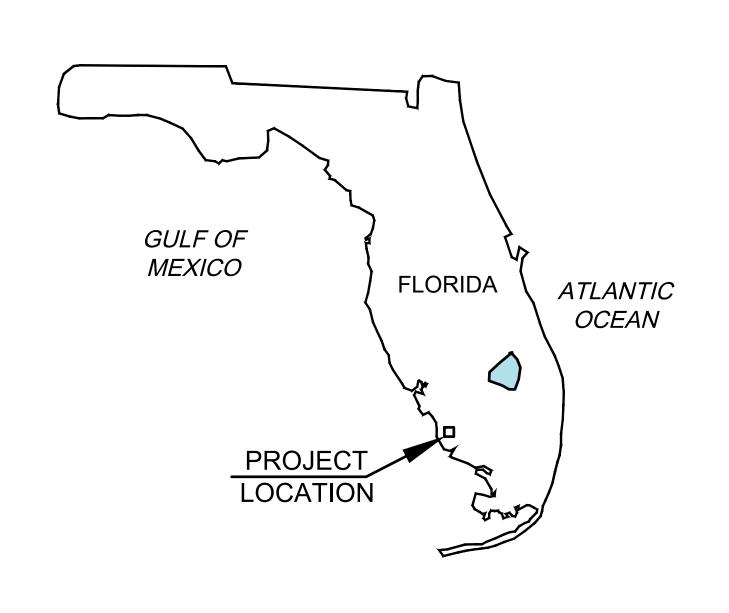
L. ADJOURNMENT

There being no further business to come before the Board, a **motion** was made by Mr. Bello, seconded by Mr. Rapponotti and passed unanimously adjourning the Regular Board Meeting at 5:05 p.m.

ATTESTED BY:	
Secretary/Assistant Secretary	Chairperson/Vice-Chair

BLUE LAKE SHORELINE STABILIZATION

18701 / 18731 WILDBLUE BLVD. FORT MYERS, LEE COUNTY FLORIDA 33913





ATE	SHEET INDEX									
REV. D	SHEET TITLE NUMBER									
	CM-1.0	COVER SHEET								
	CM-1.1	GENERAL NOTES								
	CM-1.2	EXISTING CONDITIONS								
	CM-2.0	PROPOSED IMPROVEMENTS STA. 0+00 TO STA. 38+00								
	CM-2.1	CROSS SECTIONS (1 OF 3)								
	CM-2.2	CROSS SECTIONS (2 OF 3)								
_	CM-2.3	CROSS SECTIONS (3 OF 3)								
	CM-2.4	ROCK REVETMENT TYPICAL SECTIONS								
	CM-3.0	MARINE MATTRESS DETAILS								

CLIENT:

BLUE LAKE COMMUNITY
DEVELOPMENT DISTRICT
ATTN: MS. KATHLEEN MENEELY
27499 RIVERVIEW CENTER BLVD., #253
BONITA SPRINGS, FLORIDA 334134

ENGINEER:

CUMMINS | CEDERBERG Coastal & Marine Engineering

MIAMI | FORT LAUDERDALE | JUPITER

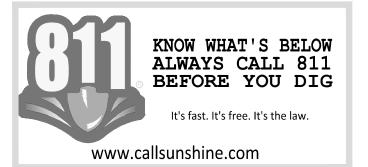
SARASOTA | ST. PETERSBURG | TALLAHASSEE

TEL: +1 305-741-6155 FAX: 305-974-1969

WWW.CUMMINSCEDERBERG.COM

NOT FOR CONSTRUCTION

PROGRESS DRAWINGS FOR CLIENT REVIEW ONLY 07/31/2025



SENERAL

- 1. THE WORK CONSISTS OF PROVIDING ALL CONSTRUCTION, LABOR, EQUIPMENT, MATERIAL AND OPERATIONS IN CONNECTION WITH THE MARINE WORKS AND RELATED IMPROVEMENTS AS SHOWN ON THESE DRAWINGS.
- ANY DISCREPANCIES IN THE PLANS WITH THE FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OF RECORD. CONSTRUCTION SHALL NOT CONTINUE UNTIL THE ENGINEER OF RECORD HAS ADDRESSED THE DISCREPANCIES.
- THE DISCREPANCIES.

 3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING STRUCTURES IN THE PROJECT VICINITY. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTY WITHIN THE PROJECT VICINITY, INCLUDING STAGING SITES, WORK AND ACCESS AREAS SHALL BE REPAIRED PROMPTLY BY THE CONTRACTOR. ANY DAMAGE AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT NO COST TO THE OWNER. ALL ACCESS AND STAGING AREAS SHALL BE KEPT NEAT, ORDERLY AND IN A SAFE MANNER. ALL ACCESS AND STAGING AREAS SHALL BE RESTORED TO THE PRE-CONSTRUCTION CONDITION UPON PROJECT COMPLETION AT THE COST OF THE CONTRACTOR. THE SITE SHALL BE RESTORED BY REMOVING AND FINISHING ALL EVIDENCE FOR CONSTRUCTION. IN THE EVENT INFRASTRUCTURE (SUCH AS WALKWAYS, SIDEWALKS, FENCES, VEGETATION, ETC.) IS TEMPORARILY REMOVED OR RELOCATED OR THERE IS UNAUTHORIZED DAMAGE TO VEGETATION AND/OR FACILITIES BY THE CONTRACTOR, THE CONTRACTOR SHALL RESTORE ALL DAMAGE TO STRUCTURES AND NATURAL FEATURES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- 4. UTILITIES ARE NOT SHOWN IN THE PLANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PRESENT PUBLIC AND PRIVATE UTILITIES PRIOR TO CONSTRUCTION.
- 5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER CLEARANCE AND PROTECTION TO ALL OVERHEAD WIRES AND OBSTRUCTIONS
- 6. THE CONTRACTOR SHALL EXCLUDE THE PUBLIC FROM THE WORK AREAS IN THE IMMEDIATE VICINITY OF OPERATIONS.

 CONTRACTOR SHALL PROVIDE APPROPRIATE SAFETY MEASURES TO PROTECT THE PUBLIC.
- 7. ALL NEW STRUCTURAL WORK INCLUDING CONCRETE AND REINFORCEMENT SHALL BE ACCURATELY FIELD MEASURED AND DIMENSIONS VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL BE PREPARED TO MAKE FIELD ADJUSTMENTS TO ACCURATELY FIT THE NEW WORK TO EXISTING CONDITIONS.
- 8. NO CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN SECURED AND THE
- CONTRACTOR HAS BEEN ISSUED NOTICE TO PROCEED.

 9. ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN CHANGED IN SIZE BY REPRODUCTION. THIS SHOULD BE CONSIDERED WHEN OBTAINING SCALED DATA.
- 10. CONSTRUCTION WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES AND GOVERNING REGULATIONS INCLUDING FDEP, USACE, AND LEE COUNTY. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS OF THE PERMITS AND EXEMPTIONS.
- 11. CONTRACTOR SHALL DEPLOY A FLOATING TURBIDITY BARRIER. PER PLANS. FOR THE DURATION OF THE WORK.

DESIGN CRITERIA

- I. COASTAL LOADS ASSOCIATED WITH A 50 YR. STORM.
- 2. 50 YR. STORM WAVES: H MAX = 3.7'
- 3. STORM SURGE = 21.3' NAVD88 BASED ON ADDITIONAL 1.5' OF INUNDATION OVER CONTROL EL. OF 19.8' NAVD88

SURVEY

- 1. SURVEY PERFORMED BY : BARRACO AND ASSOCIATES, DATED 12/12/2024 THRU 12/18/2024.
- 2. HORIZONTAL DATUM IS NAD83 FLORIDA STATE PLANE WEST ZONE, US FEET.
- 3. VERTICAL DATUM IS NORTH AMERICAN DATUM 1988 (NAVD88)

TIDAL DATA

CONTRACTOR MAY NEED TO ADJUST HIS WORK PLAN TO ACCOUNT FOR ACTUAL WATER LEVELS AND CHANGING WATER LEVELS. THE SITE MAY BE SUBJECT TO VARIABLE WAVE AND SURGE CONDITIONS AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY SUPPORT FOR MARINE STRUCTURES AND SHORELINE DURING CONSTRUCTION.

AYOUT AND TESTING

1. ALL CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY AND PAID FOR BY THE CONTRACTOR UNDER THE SUPERVISION OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF AS-BUILT DRAWINGS IN SUFFICIENT DETAIL TO ILLUSTRATE THE HORIZONTAL AND VERTICAL COMPONENTS OF ABOVE AND BELOW GROUND STRUCTURES AND WALLS RELATIVE TO THE CONSTRUCTION BASELINE. DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR.

DEMOLITION

- CONTRACTOR SHALL VERIFY THE EXTENTS, LOCATION AND QUANTITIES OF EXISTING ELEMENTS TO BE REMOVED.
 ALL DEBRIS WITHIN THE LIMITS OF THE PROJECT SHALL BE HAULED OFF SITE BY THE CONTRACTOR, AS DIRECTED BY THE OWNER, AND DISPOSED OF AT AN APPROPRIATE FACILITY.
- 3. CONTRACTOR SHALL NOT DAMAGE ANY STRUCTURAL COMPONENTS BEYOND THE DEMOLITION REQUIREMENTS DEPICTED IN THESE DRAWINGS. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE

GEOTEXTILE

- 1. GEOTEXTILE SHALL BE U.S. 670 (OR APPROVED EQUAL).
- 2. PROVIDE GEOTEXTILE IN ACCORDANCE WITH FDOT SPECIFICATION 514. INSTALL GEOTEXTILE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTION.

SUBMITTALS

- 1. ALL SHOP DRAWINGS MUST BEAR EVIDENCE OF THE CONTRACTOR'S APPROVAL PRIOR TO SUBMITTING
- $_{\odot}$ 2. TO THE ENGINEER OF RECORD.
- 3. THE FOLLOWING MINIMUM SUBMITTALS SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO
- 4. THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO RELATED CONSTRUCTION ACTIVITY:
 4.1. SCHEDULE FOR COMPLETION OF WORK WITH TASKS AND DURATIONS DEFINED
- 4.2. EXCAVATION METHODS AND DISPOSAL PLAN
- 4.3. ROCK WEIGHT TICKETS
- 4.4. GEOTEXTILE FABRIC
- 4.5. INCLEMENT WEATHER PLAN
- 4.6. ROCK MATERIAL TESTING PER SEC. 10.3
- 4.7. SILT FENCE

ROCK

- 1. PROPOSED ROCK SOURCE(S) MUST BE APPROVED FOR USE BY THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF THE WORK. ONCE THE SOURCE(S) FOR ROCK ARE APPROVED, THE CONTRACTOR SHALL NOT USE MATERIAL FROM ANOTHER SOURCE WITHOUT REPEATING THE ACCEPTANCE AND TEST PROCEDURES TO QUALIFY THE OTHER SOURCE(S).
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING QUARRY CERTIFICATIONS AND PERFORMING QUALITY TESTS FROM AN INDEPENDENT LAB ON A MINIMUM OF 5 SAMPLES OF BEDDING STONE AND 5 SAMPLES OF ARMOR STONE. ALL ROCK SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- 2.1. CLEAN, SOUND, AND DURABLE, AND FREE FROM FRACTURES, INCLUSIONS, VOIDS, OR OTHER DEFECTS. FREE OF
- EARTH, CLAY, REFUSE, OR ADHERENT COATINGS.
 2.2. MINIMUM SPECIFIC GRAVITY OF 2.25 (140 PCF).
- 2.2. MINIMUM SPECIFIC GRAVITY OF 2.25 (140
- 2.3. SOUNDNESS 15% MAX LOSS (ASTM C88)
- 2.4. SUCH CHARACTER THAT IT WILL NOT DISINTEGRATE FROM THE ACTION OF AIR, WATER, OR THE CONDITIONS OF HANDLING AND PLACING. MAXIMUM ABRASION LOSS OF 50% (ASTM C131)
- 2.5. ROUGH ANGULAR QUARRIED MATERIAL WITH A SHAPE THAT ASSURES INTERLOCKING WITH ADJACENT ROCK.
 2.6. ALL SAMPLES SHALL MEET OR EXCEED THESE MINIMUM STANDARDS. FAILURE WILL BE CAUSE FOR REJECTION OF THE QUARRY AND QUARRYING PROCESS. ANY ADDITIONAL TESTS REQUIRED BECAUSE OF FAILURE WILL BE MADE AT
- NO COST TO THE OWNER

 2.7. A DROP TEST WILL BE PERFORMED ON A TEN (10) STONE SAMPLE AT THE ROCK QUARRY
- 2.8. ALL ROCK WILL BE SUBJECT TO ON-SITE RANDOM SAMPLING AND TESTING (INCLUDING RANDOM DROP TESTS). ROCK THAT DOES NOT CONFORM IN SPECIFIC GRAVITY, STRUCTURE, AND OTHER CHARACTERISTIC REQUIREMENTS WILL BE REJECTED. THE PRESENCE OF UNSATISFACTORY ROCK OR OBJECTIONABLE FOREIGN MATERIAL IN ANY OF CONTRACTOR-PROVIDED ROCK WILL BE DEEMED SUFFICIENT REASON FOR REJECTION OF THE ENTIRE LOAD OF ROCK. ANY SUCH LOAD OF ROCK SHALL BE IMMEDIATELY REMOVED FROM THE SITE AT THE CONTRACTOR'S

2.9. ROCK USED FOR THE REVETMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SIZE RANGES:

ARMO	R STONE	
PERCENT LESS THAN BY WEIGHT	MASS (LB)	NOMINAL SIZE (FT.)
100	1300	2.1
50	825	1.8
0	475	1.5

BEDDING STONE									
PERCENT LESS THAN BY WEIGHT	MASS (LB)	NOMINAL SIZE (IN.)							
100	20	6.0							
50	5	4.0							
0	1	2.0							

- 2.10. THE LEAST DIMENSION OF ANY ROCK SHALL NOT BE LESS THAN ONE-THIRD (1/3) OF THE GREATEST DIMENSION OF THAT ROCK. SQUARE OR FLAT ROCK SHALL NOT BE ACCEPTED. ROCK SIZE SHALL BE TAKEN AS THE AVERAGE OF THE ROCK'S MAXIMUM GIRTH MEASURED IN EACH OF THREE PERPENDICULAR AXES. THE IN-PLACE ROCK SHALL BE WELL GRADED AND REPRESENT THE RANGE OF SIZE SPECIFIED.
- 3. THE TONNAGE OF ARMOR STONE IN THE BID ASSUMES THAT THERE ARE 25% VOIDS. UNLESS CHANGED BY THE ENGINEER OF RECORD, THE BID TONNAGE IS THE MAXIMUM PAY TONNAGE. THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATE PRIOR TO MAKING HIS BID. THE BID TONNAGE ASSUMES 140 PCF STONE IS USED TO FILL THE TEMPLATE. IF A HIGHER UNIT WEIGHT STONE IS USED, IT IS POSSIBLE THAT THE FINAL CROSS SECTION MAY VARY FROM THAT SHOWN ON THE PLANS. REGARDLESS OF THE STONE DENSITY, THE RIPRAP SHALL BE WITHIN +/- 6 INCHES OF THE CROSS SECTION SHOWN HEREIN. FOR BEDDING STONE, THE MAXIMUM PERMISSIBLE VARIATION SHALL BE 3 INCHES.

MARINE MATTRESS

- 1. STRUCTURAL GEOGRID. THE STRUCTURAL GEOGRID SHALL BE TENSAR UXTRITON 100/200 OR EQUIVALENT AND WILL PROVIDE A MATTRESS UNIT THICKNESS OF AT MINIMUM 12 INCHES THICK WHEN THE GEOGRID IS FILLED AND READY FOR PLACEMENT. UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS OR DIRECTED BY THE ENGINEER OF RECORD. THE STRUCTURAL GEOGRID TYPE SHALL BE:
- 1.1. UXTRITON 200 FOR THE TOP, BOTTOM, SIDES AND ANY EXTRA LENGTH USED FOR LIFTING OR ANCHORING OF THE LINITS
- 1.2. UXTRITON 100 FOR INTERNAL DIAPHRAGMS OF THE UNITS. THE STRUCTURAL GEOGRID SHALL BE PRODUCED FROM VIRGIN RESIN AND CLASSIFIED AS HIGH DENSITY POLYETHYLENE (HDPE) AND/OR POLYPROPYLENE (PP) AND SHALL POSSESS COMPLETE CONTINUITY OF ALL PROPERTIES THROUGHOUT ITS STRUCTURE. THE STRUCTURAL GEOGRID SHALL HAVE THE FOLLOWING PROPERTIES:

PROPERTY	UNITS	UXTRITON 100	UXTRITON 200
TRUE 1% TENSILE MODULUS IN USE (MD)	LB/FT (kN/m)	51,400 (750)	113,090 (1,650)
JUNCTION STRENGTH (MD)	LB/FT (kN/m)	3,330 (48.6)	6,908 (100.8)
FLEXURAL STIFFNESS	mg-cm	700,00	6,500,000
RESISTANCE TO LONG TERM DEGRADATION	%	100	100
ULTRAVIOLET STABILITY (RETAINED STRENGTH @ 500 HOURS)	%	98	100

- 2. THE STRUCTURAL GEOGRID SHALL ACCEPT APPLIED FORCE IN USE BY POSITIVE MECHANICAL INTERLOCKING (I.E. DIRECT MECHANICAL KEYING) WITH CONTIGUOUS SECTIONS OF ITSELF BY RIGID MECHANICAL CONNECTION ELEMENTS SUCH AS BODKINS, PINS OR HOOKS. THERE SHALL BE SUFFICIENT GEOGRID MATERIAL (2 GEOGRID APERTURE MINIMUM) TO FORM LIFTING HOOPS FOR THE UNITS.
- 3. MECHANICAL CONNECTION ELEMENTS. THE MECHANICAL CONNECTION ELEMENTS SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS AND SHALL BE COMPOSED OF HIGH DENSITY POLYETHYLENE (HDPE) AND/OR POLYPROPYLENE (PP), UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE MECHANICAL CONNECTION USED SHALL BE A BODKIN, UNLESS OTHERWISE APPROVED BY THE ENGINEER OF RECORD. A ONE FOOT BY ONE FOOT SAMPLE OF THE GEOGRID AND A ONE FOOT LENGTH OF BODKIN SHALL BE PROVIDED TO THE ENGINEER OF RECORD UPON REQUEST.
- 4. UV STABILIZED BRAID. THE BRAID USED FOR TYING AND LACING IN THE FABRICATION OF THE UNITS SHALL BE 8-STRAND HOLLOW-CORE BRAID COMPOSED OF HIGH DENSITY POLYETHYLENE (HDPE). EACH STRAND SHALL CONSIST OF A BUNDLE OF MONOFILAMENT HDPE. THE BRAID SHALL HAVE A NOMINAL DIAMETER OF NOT LESS THAN 3/16 INCH AND A BREAKING STRENGTH OF NOT LESS THAN 400 LBS ON A TEST SPECIMEN 36 INCHES IN LENGTH. THE BRAID SHALL BE UV STABILIZED WITH A MINIMUM CARBON BLACK CONTENT OF 2.0% BY WEIGHT. A 3 FOOT LENGTH OF BRAID SHALL BE PROVIDED TO THE ENGINEER OF RECORD UPON REQUEST.
- 5. ACCEPTANCE OF MATERIAL. THE CONTRACTOR SHALL INSPECT THE GEOTEXTILE, GEOGRID, BRAID AND MECHANICAL CONNECTION ELEMENTS UPON DELIVERY TO VERIFY THAT THE PROPER MATERIAL HAS BEEN RECEIVED. THESE MATERIALS SHALL BE INSPECTED BY THE CONTRACTOR TO BE FREE OF FLAWS, DEFECTS, RIPS, HOLES, DETERIORATION
- OR DAMAGE OCCURRING DURING MANUFACTURING, SHIPPING OR HANDLING.

 6. MARINE MATTRESS FOUNDATION STONE DIMENSION AND UNIT WEIGHT. THE MINIMUM DIAMETER OF THE BEDDING STONE USED SHALL BE 2 INCH ACROSS THE SMALLEST DIMENSION OF THE STONE. THE MAXIMUM DIAMETER OF THE BEDDING STONE USED SHALL BE 6 INCHES. THE MINIMUM ACCEPTABLE UNIT WEIGHT OF THE BEDDING STONE IS 140 PCF (SATURATED, SURFACE DRY) (ASTM, C127). THE LOSS WHEN THE STONE IS SUBJECTED TO THE LOS ANGELES ABRASION TEST SHALL NOT EXCEED 40%. UNIT WEIGHT AND ABRASION TESTS WILL BE MADE AT NO COST TO THE OWNER. THE ENGINEER OF RECORD, AT ANY TIME DURING CONSTRUCTION, MAY REQUIRE THE CONTRACTOR TO CONDUCT ADDITIONAL TESTS AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE CERTIFIED RESULTS OF LABORATORY TESTING CONDUCTED BY AN INDEPENDENT LAB TO DETERMINE THE UNIT WEIGHT, SPECIFIC GRAVITY OF THE BEDDING STONE, AND THE RESULTS OF THE LOS ANGELES ABRASION TEST. THE TESTS SHALL BE CONDUCTED ON A MINIMUM OF 10 SAMPLES RANDOMLY SELECTED FROM THE QUARRY PROPOSED FOR USE. FAILURE OF THE TEST ON THE FIRST SET OF 10 SAMPLES AND A FOLLOWING SET OF 10 SAMPLES WILL BE CAUSE FOR REJECTION OF THE QUARRY AND/OR QUARRYING PROCESS. STONES THAT FAIL THE TEST SHALL NOT BE INCORPORATED INTO THE WORK. THE CONTRACTOR MAY NOT USE MORE THAN ONE QUARRY WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- 7. NOMINAL WIDTH OF UNITS: 5 FT (FILLED), 4.3 FT (UNFILLED).
- 8. ATTACH GEOTEXTILE TO BOTTOM AND SIDES OF FILLED MATTRESS USING POLYMERIC CABLE TIES (HOG RINGS ARE ALSO ACCEPTABLE). GEOTEXTILE SHALL BE LAPPED A MINIMUM OF 2 FEET AT ENDS AND SIDES OF ADJOINING MATTRESSS

UTILITIES

- 1. CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PRESENT UTILITIES PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR SHALL CONTACT THE LOCAL HOA PRIOR TO CONSTRUCTION TO LOCATE AND PROTECT ALL PRIVATE UTILITIES (LANDSCAPING, IRRITATION SYSTEMS, ETC.)
- 3. PRIOR TO ANY SCHEDULED INTERRUPTION OF UTILITY SERVICE, THE CONTRACTOR WILL COORDINATE SUCH INTERRUPTION WITH THE UTILITY PROVIDER AND WILL PROVIDE A MINIMUM 24-HOUR NOTICE TO THE AFFECTED PARTIES. THE CONTRACTOR WILL NOTIFY ELECTRIC UTILITIES A MINIMUM OF TWO WEEKS PRIOR TO CONSTRUCTION IN THE VICINITY OF THEIR FACILITIES.

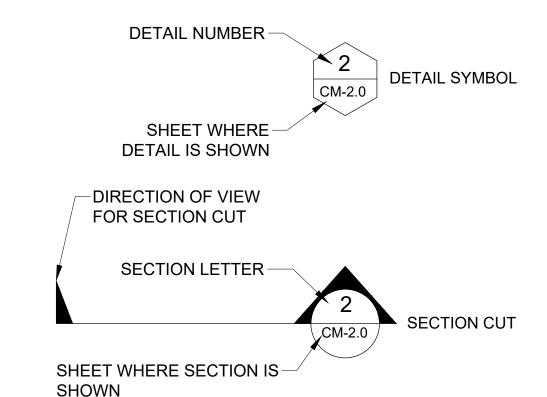
VEGETATION

1. ALL SOD UTILIZED WITHIN THE PROJECT AREA SHALL BE A SIMILAR SPECIES TO THE SOD TYPICALLY FOUND IN THE WILDELLE COMMUNITY

PAYMENT



SYMBOLS LEGEND



BLUE LAKE SHORELINE STABILIZATION

ADDRESS: 18701/18731 WILDBLUE BLVD

FORT MYERS, FL, 33913

CLIENT:

BLUE LAKE COMMUNITY
DEVELOPMENT
DISTRICT

ADDRESS: 27499 RIVERVIEW CENTER BLVD.

#253 BONITA SPRINGS, FL 34134

CUMMINS CEDERBERG COASTAL & MARINE ENGINEERING

201 ALHAMBRA CIRCLE, SUITE 601 CORAL GABLES, FL 33134 TEL: +1 305 741-6155 FAX: +1 305-974-1969 WWW.CUMMINSCEDERBERG.COM

COA # 29062

CUMMINS | CEDERBERG

Coastal & Marine Engineering

SEAL:

CC PROJECT NO: 126600

DRAWN
GK
CHECKED
JPC
SCALE
REFERS TO 22X34 SHEET

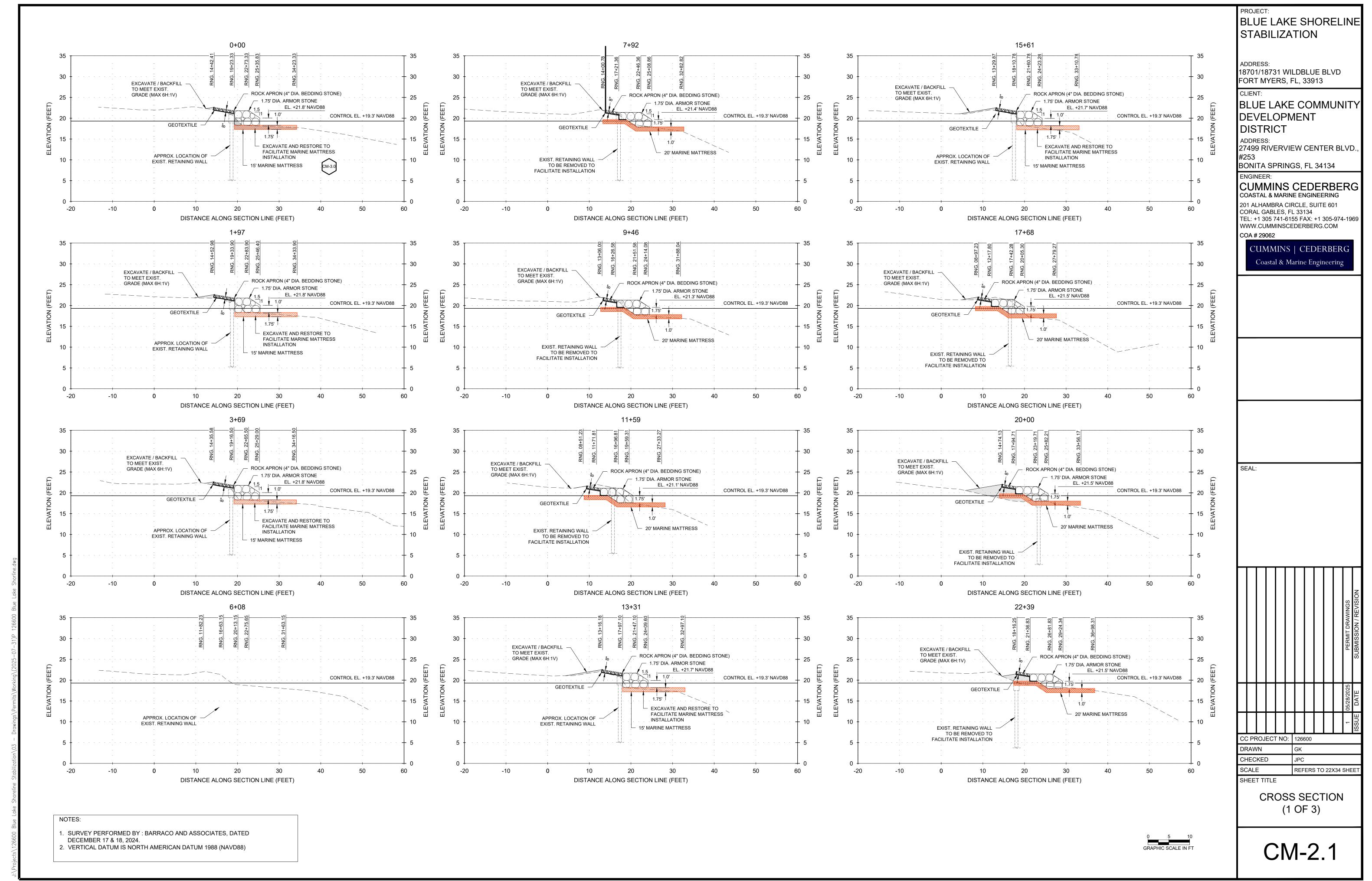
SCALE SHEET TITLE

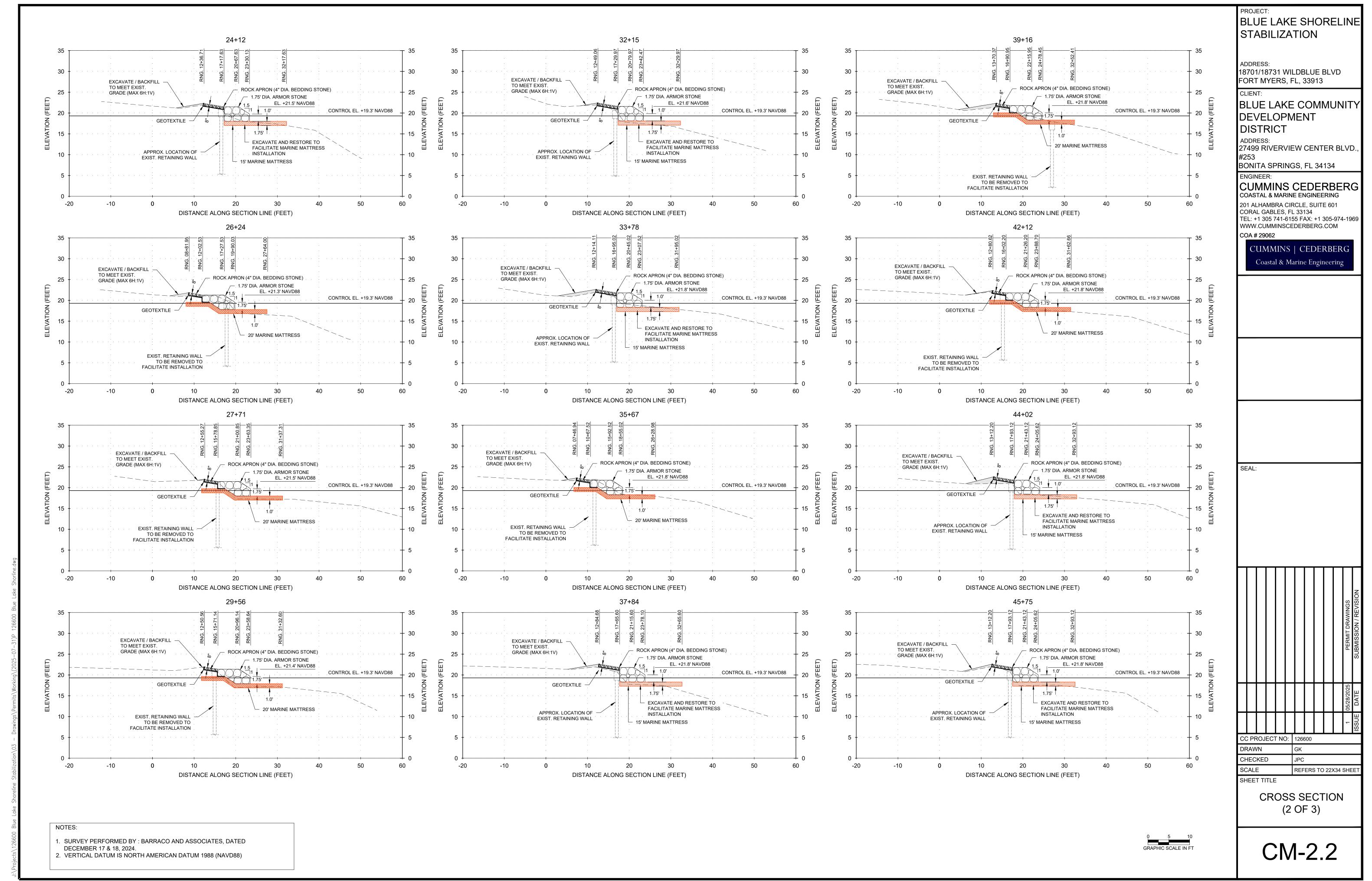
GENERAL NOTES

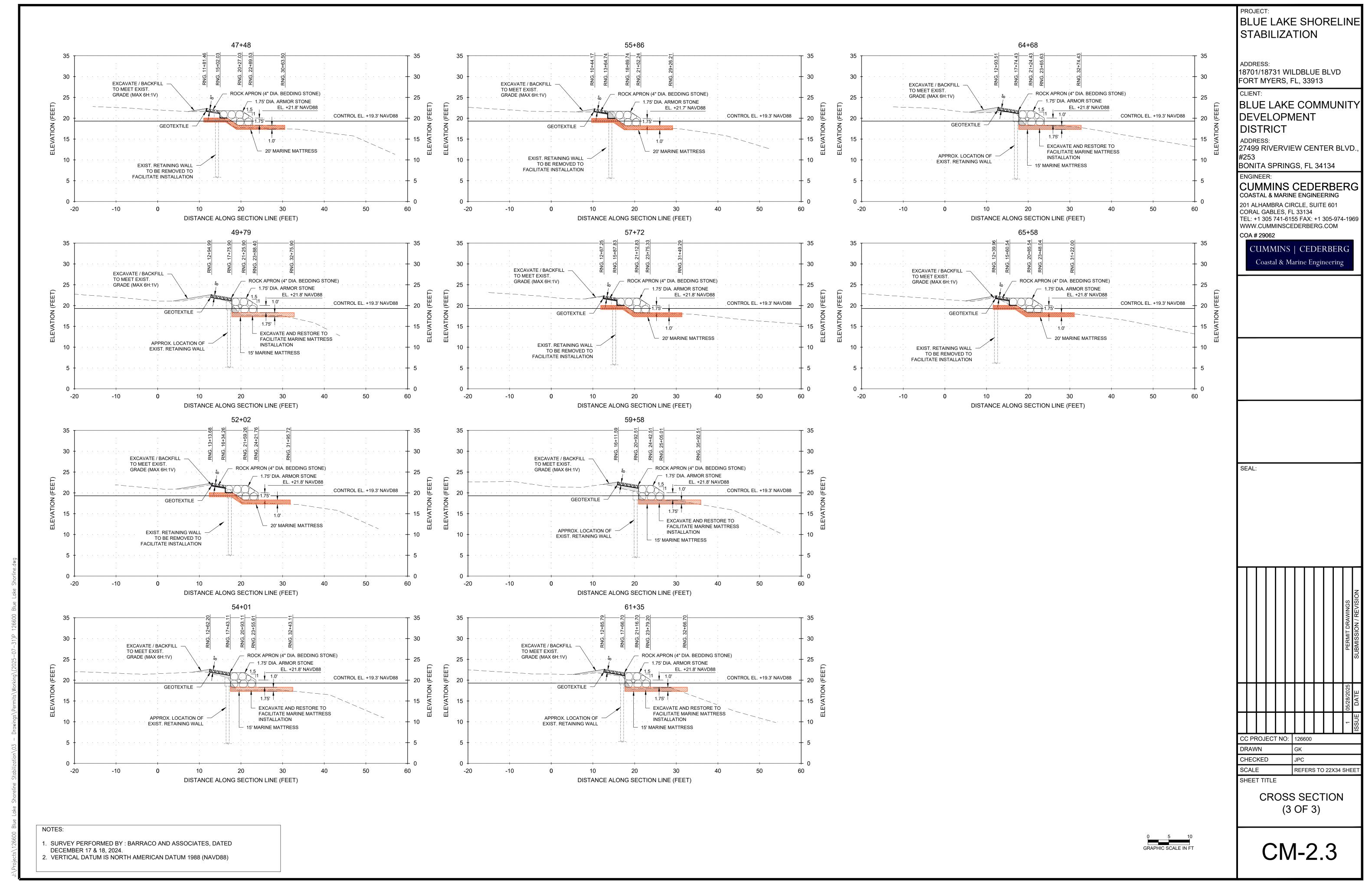
CM-1.1

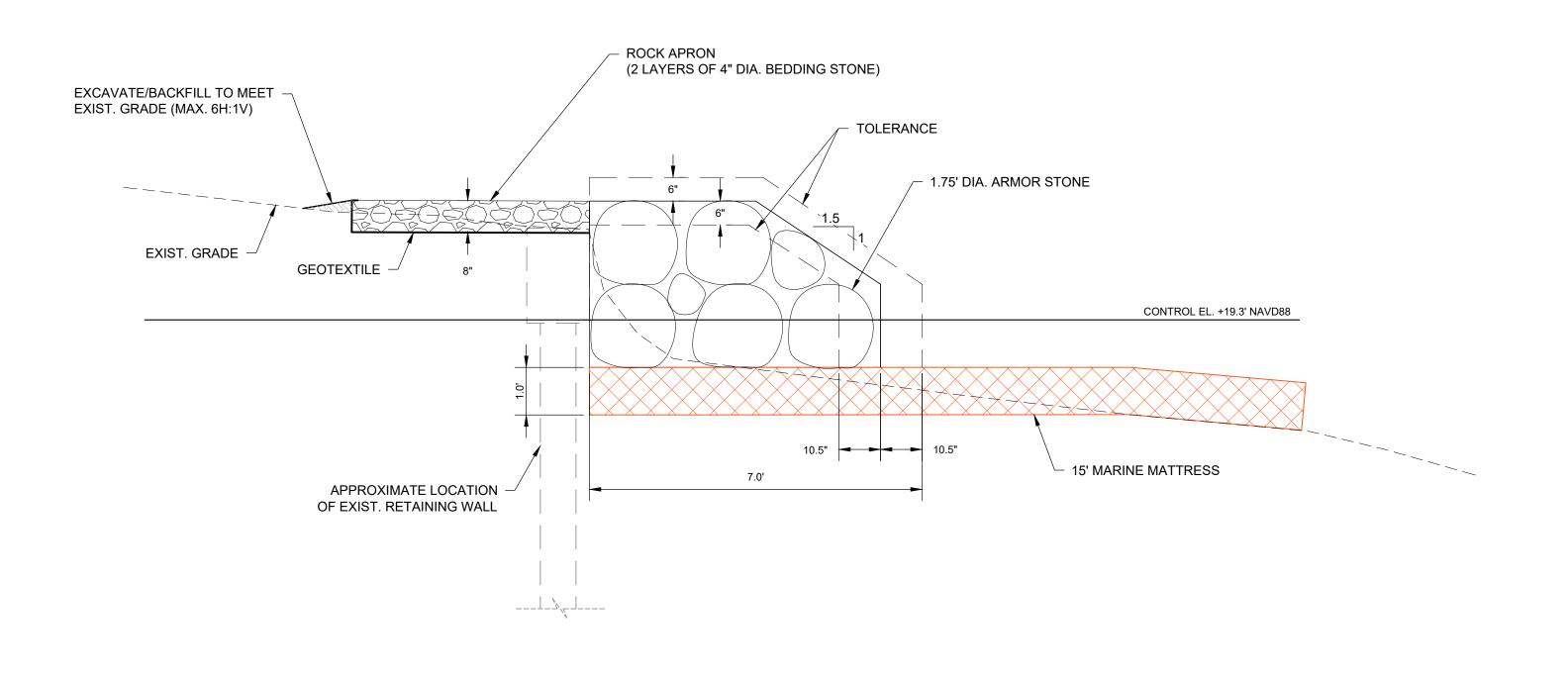


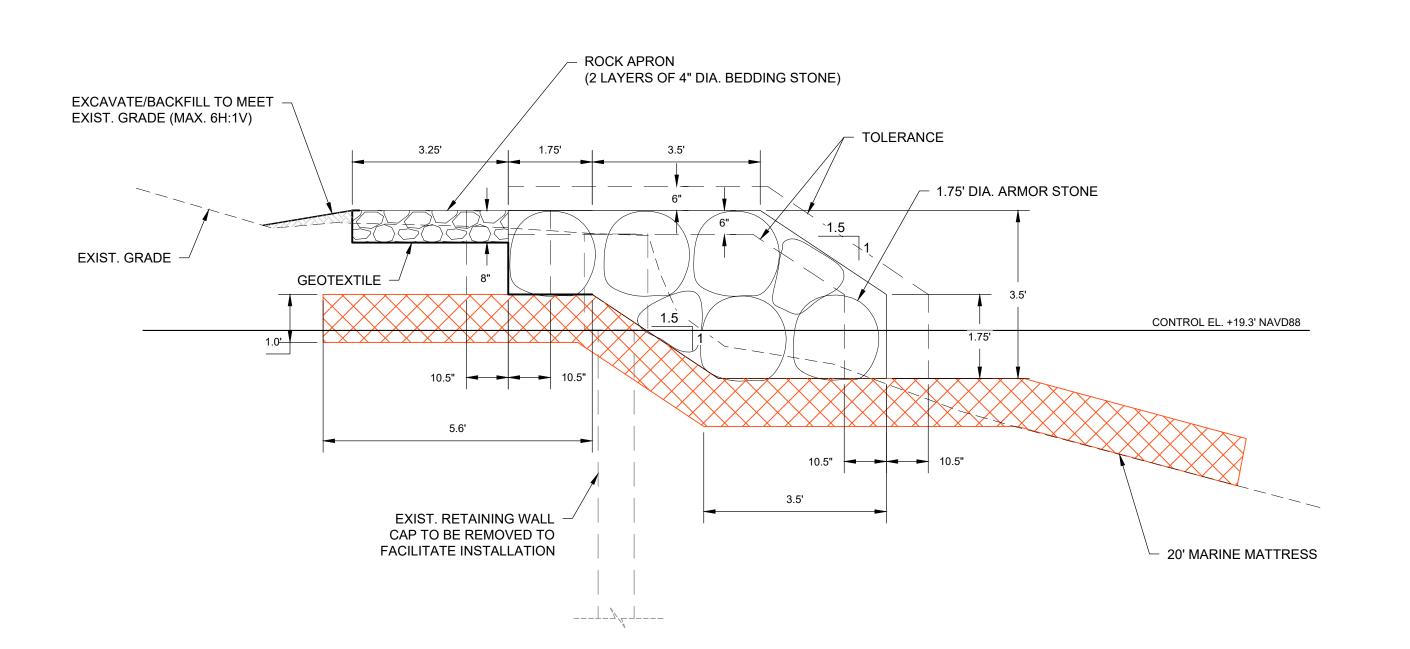












BLUE LAKE SHORELINE STABILIZATION 18701/18731 WILDBLUE BLVD FORT MYERS, FL, 33913 BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT ADDRESS: 27499 RIVERVIEW CENTER BLVD., BONITA SPRINGS, FL 34134 ENGINEER: CUMMINS CEDERBERG COASTAL & MARINE ENGINEERING 201 ALHAMBRA CIRCLE, SUITE 601 CORAL GABLES, FL 33134 TEL: +1 305 741-6155 FAX: +1 305-974-1969 WWW.CUMMINSCEDERBERG.COM COA # 29062 CUMMINS | CEDERBERG Coastal & Marine Engineering

0 5 10
GRAPHIC SCALE IN FT

CM-2.4

ROCK REVETMENT

TYPICAL SECTIONS

REFERS TO 22X34 SHEET

CC PROJECT NO: 126600

DRAWN CHECKED

SCALE

SHEET TITLE

ALL CUT ENDS OF BRAID MATERIAL SHALL BE KNOTTED WITHIN 1/2" TO 2" OF THE END TO PREVENT RAVELING OF BRAID.

AT ALL ENDS OF ALL BRAIDED SEAMS THE BRAID SHALL BE SECURELY KNOTTED TO THE GEOGRID.

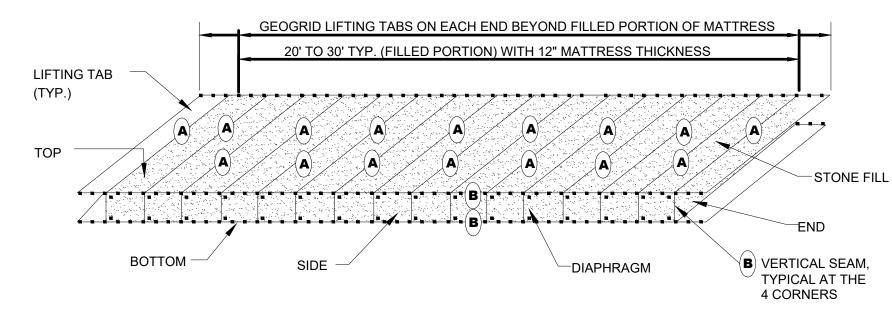
AT ALL ENDS OF ALL PIECES OF BRAID MATERIAL USED, THE BRAID SHALL BE KNOTTED TO SPLICE IT TO THE NEXT PIECE OF BRAID, OR TO SECURE IT TO THE GEOGRID. EACH BRAIDED SEAM SHALL BE CONTINUOUS, WITH SECURELY KNOTTED SPLICES ALLOWED. THE BRAID SHALL BE SECURELY KNOTTED TO THE GEOGRID AT A SPACING NOT TO EXCEED 6 FT ALONG ANY SEAM.

THE BRAID SHALL BE STITCHED THROUGH EACH PAIR OF APERTURES ALONG THE SEAM AT LEAST ONCE, AND THE MINIMUM NUMBER OF STITCHES PER FOOT ALONG THE SEAM SHALL BE SIX (6). THE SPACING OF STITCHES ALONG EACH SEAM SHALL BE REASONABLY UNIFORM.

ALL KNOTS SHALL BE TIED IN A MANNER TO PREVENT SLIPPING AND CINCHING.

THE WRAPS ALONG THE SEAM SHALL BE SUFFICIENTLY TIGHT TO CLOSE THE GAP BETWEEN THE ADJACENT PIECES OF GEOGRID, BUT SHALL NOT BE OVER-TIGHTENED SUCH THAT THE GEOGRID BINDS ALONG THE SEAM.

TYPICAL STITCHED SEAM DETAILS



(A) INDICATES BODKIN CONNECTION USING 3/8" DIAMETER HDPE BODKIN ROD

(B) INDICATES BRAIDED SEAM USING 3/16" DIAMETER HIGH UV HDPE BRAID

NOTES:

ENDS, TOP, BOTTOM, SIDES AND ANY EXTRA LENGTH USED FOR LIFTING OR ANCHORING PURPOSES

SHALL BE COMPOSED OF TENSAR UXTRITON 200 GEOGRID. INTERNAL DIAPHRAGMS SHALL BE COMPOSED OF TENSAR UXTRITON 100 GEOGRID.

NOMINAL WIDTH OF UNITS: 5FT (FILLED), 4.3 FT (UNFILLED).

TYPICAL THICKNESS (FILLED): 12 INCHES

PLASTIC CABLES TIES MAY BE USED TO SECURE BODKIN CONNECTORS IN POSITION PRIOR TO

TENSIONING OR FILLING OF MATTRESS UNITS.

TYPICAL CONFIGURATION OF FILLED MATTRESS UNITS

EXPANDED SECTION AT DIAPHRAGM

—END OF DIAPHRAGM GRID

TYPICAL SPACING OF DIAPHRAGMS IS EVERY THREE APERTURE LENGTHS. A SHORTER SPACING MAY BE USED IN ORDER TO MATCH THE REQUIRED MATTRESS LENGTH. LENGTH OF END PIECES AND INTERNAL DIAPHRAGMS PIECES SHALL BE: FOR 12" (FILLED) MATTRESS THICKNESS: 2 GRID APERTURES LONG

SEE TYPICAL CONFIGURATION OF FILLED MATTRESS FOR ADDITIONAL DIMENSIONS AND MATERIAL TYPES.

ALL 3/8" DIA BODKINS RODS INSTALLED (TOP AND BOTTOM OF MATTRESS) AND SECURED GEOGRID TABS BEYOND EACH END OF

MATTRESS FOR TENSIONING AND LIFTING. ADD TO EACH END OF TOP AND BOTTOM: 2 FULL APERTURES FOR 12" THICKNESS

A THE THE PARTY OF ONE EDGE OF EACH SIDE PIECE **BRAIDED TO UNIT**

MACHINE / ROLL DIRECTION OF UX GRID FOR TOP, BOTTOM, AND SIDES.

> MACHINE / ROLL DIRECTION OF UX GRID FOR ENDS AND

WIDTH OF GRID PIECE USED TO FORM EACH SIDE SHALL BE EQUAL TO FILLED THICKNESS OF MATTRESS DIAPHRAGMS.

TRITON® COASTAL & WATERWAY SYSTEMS

(2025-07-31)P 126600 BLUE LAKE SHORLINE.DWG

Tensar International Corporation | 2500 Northwinds Parkway, Suite 500 | Alpharetta, Georgia 30009
Toll Free: 1-888-828-5126 | Phone: 770-344-2090 | Fax: 770 344-2089 | www.tensarcorp.com

THIS DRAWING IS BASED UPON SPECIFIC PROPERTIES OF TENSAR PRODUCTS (GEOGRIDS, DRAINAGE COMPOSITES AND EROSION MEDIA), WHICH ARE PROPRIETARY TO TENSAR CORPORATION 1210 CITIZENS PARKWAY, MORROW, GA, 30260 AND ARE PROTECTED BY US AND INTERNATIONAL PATENTS, AND LICENSING AGREEMENTS. YOUR USE OF THE INFORMATION CONSTITUTES YOUR ACKNOWLEDGMENT OF THE PROPRIETARY NATURE OF THESE DRAWINGS AND THE TECHNOLOGY.

BLUE LAKE SHORELINE STABILIZATION 18701/18731 WILDBLUE BLVD

FORT MYERS, FL, 33913

BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT

27499 RIVERVIEW CENTER BLVD.

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ENGINEER: CUMMINS CEDERBERG

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WWW.CUMMINSCEDERBERG.COM

COA # 29062

CUMMINS | CEDERBERG Coastal & Marine Engineering

CC PROJECT NO: 126600

DRAWN

CHECKED SCALE REFERS TO 22X34 SHEE

SHEET TITLE

DETAILS

MARINE MATTRESS

CM-3.0

From: Carl A. Barraco < CarlB@barraco.net > Sent: Thursday, August 28, 2025 5:18 PM
To: Kathleen Meneely < kmeneely@sdsinc.org >

Cc: Frank Savage <franks@barraco.net>; Rachel Wright <rachelw@barraco.net>

Subject: RE: Drainage Issue at 14930 Blue Bay Circle - Request for Resolution and Photos

Kathleen, at your request we reacted to the request of the 14930 Blue Bay Circle property owner to investigate drainage concerns in that rear yard drainage system. We made a site visit on August 22, 2025, and did not find any visible issues with the drainage on the lot down to as far as the next drainage inlet in that series. If additional investigation is requested, I suggest the next step be investigation of the drainage pipe(s) in that area with a video camera. To have a contractor mobilize, the CDD will have to agree to a minimum linear footage of pipe to be investigated. With your permission, we will have up to \$2000 worth of pipe videotaped in that area. Please advise. Thank you.

Carl A. Barraco, P.E.
President
Barraco and Associates, Inc.
Civil Engineers ~ Land Surveyors ~ Planners
2271 McGregor Boulevard
Fort Myers, FL 33901
Phone: (239) 461-3170
Fax: (239) 461-3169

File:

From: Carl A. Barraco < CarlB@barraco.net > Sent: Wednesday, August 27, 2025 6:17 PM
To: Kathleen Meneely < kmeneely@sdsinc.org >

Cc: Ralph Casciano < rcasciano@outlook.com >; Doug Tarn < dougt@barraco.net >; Frank Savage

<franks@barraco.net>

Subject: RE: Drainage Issue at 14930 Blue Bay Circle – Request for Resolution and Photos

Based upon our findings in the field and as outlined in my e-mail below, our next step would be to have a contractor video investigate specific drainage pipes in that subject area. Then reading further in the email chain, that is apparently what was done in the previous situation that Mr. Casiano references in his emails. So, with your permission we will have that done. To have a contractor mobilize, the CDD will have to agree to a minimum linear footage of pipe to be investigated. With your permission, we will have up to \$2000 worth of pipe videotaped in that area. Please advise. Thank you.

Carl A. Barraco, P.E. President Barraco and Associates, Inc. Civil Engineers ~ Land Surveyors ~ Planners 2271 McGregor Boulevard Fort Myers, FL 33901



Page 18









Page 22

Blue Lake Community Development District

Financial Report For August 2025

BLUE LAKE COMMUNITY DEVELOPMENT DISTRICT MONTHLY FINANCIAL REPORT AUGUST 2025

		Annual Budget		Actual	Year To Date Actual			
REVENUES	10/1	/24 - 9/30/25		Aug-25	10/1	/24 - 8/31/25		
O & M Assessments		581,132		0		581,661		
Debt Assessments		661,941		0		661,942		
Other Revenues		480		0		0		
Interest Income		0		0		9,172		
Line of Credit Proceeds		0		0		122,100		
Total Revenues	\$	1,243,553	\$	-	\$	1,374,875		
EXPENDITURES								
Administrative Expenditures								
Supervisor Fees		12,000		600		5,800		
Payroll Taxes (Employer)		960		46		444		
Management		30,576		2,548		28,028		
Legal		40,000		0		13,736		
Legal Extraordinary - Retaining Wall, Etc.		0		0		86,486		
Assessment Roll		4,000		0		0		
Audit Fees		4,100		0		3,800		
Arbitrage Rebate Fee		650		0		650		
Insurance		13,610		0		12,850		
Legal Advertisements		6,000		0		3,520		
Miscellaneous		2,000		231		2,107		
Postage		700		603		1,103		
Office Supplies		1,050		315		1,765		
Dues & Subscriptions		175		0		175		
Trustee Fee		4,050		0		4,246		
Continuing Disclosure Fee		1,000		0		0		
Deficit Funding (FY 2022/2023)		41,373		0		0		
Payroll Processing Fee		0		52		696		
Total Administrative Expenditures		162,244		4,395		165,406		
Maintenance Expenditures								
Engineering/Inspections		40,000		0		42,513		
Engineering Extraordinary - Retaining Wall		0		0		77,119		
Mitigation Monitoring		138,500		0		211,353		
Lake Maintenance		60,000		2,866		42,330		
Flow Way Inspection Certification		5,000		0		0		
Detention Area Maintenance		36,000		3,010		32,429		
Miscellaneous Maintenance (Fence Repairs, Stabilization Analysis, etc.)		55,000		0		29,612		
Maintenance Reserve	İ	50,000		0		0		
Vista Dry Retention Area	İ	0		0		3,899		
Capital Outlay - Lake Bank	İ	0		0		133,400		
Total Maintenance Expenditures		384,500		5,876		572,655		
Total Expenditures	\$	546,744	\$	10,271	\$	738,061		
REVENUES LESS EXPENDITURES	\$	696,809	\$	(10,271)	\$	636,814		
Bond Payments		(623,875)		0		(636,903)		
BALANCE	\$	72,934	\$	(10,271)	\$	(89)		
	Ť	,••	Ť	(10,=11)	_	(55)		
County Appraiser & Tax Collector Fee		(24,312)		0		(1,201)		
Discounts For Early Payments		(48,622)		0		(45,820)		
EXCESS/ (SHORTFALL)	\$	-	\$	(10,271)	\$	(47,110)		
Carryover From Prior Year		0		0		0		
NET EXCESS/ (SHORTFALL)	\$	-	\$	(10,271)	\$	(47,110)		

Note - Draw From Lake Bank Repair Project Line Of Credit: \$133,400.

Bank Balance As Of 8/31/25	\$ 237,364.87
Accounts Payable As Of 8/31/25	\$ 31,657.43
Line of Credit As Of 8/31/25	\$ 133,400.00
Accounts Receivable As Of 8/31/25	\$ -
Available Funds As Of 8/31/25	\$ 72,307.44

BLUE LAKE CDD TAX COLLECTIONS 2024/2025

				_	_	_		_				_	_	_			_
Debt Assessments Paid to Trustee	623.875.00		1,618.10	116,197.90	398,669.75	33,843.60	22,998.05	27,137.70	10,717.45	16,342.10	2,033.85	2,879.60	4,465.30				636,903,40
⋖	0 0	<u></u>	0	\$	2	\$	2	\$	2	\$	2	\$	\$	8	ક	8	\$
ot iment me er er nts &	661,941.00	(225.00)	1,843.10	116,197.90	398,669.75	33,843.60	22,998.05	27,137.70	10,717.45	16,342.10	2,033.85	2,879.60	4,465.30				636,903.40
Debt Assessment Income (After Discounts &	661,		Ψ,	116,	398,	33,	22,	27,	10,	16,	2,	2,	4,				
	49	\$ (C)	8	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$				\$
O & M Assessment Income (After Discounts & Fee)	\$581,132.00	(198.00)	1,618.04	102,014.05	350,005.77	29,712.36	20,190.63	23,825.07	9,409.12	14,347.27	1,900.09	2,690.32	4,163.53				559,678.25
O & M ssessme Income (After iscounts	\$581,132.00		Ψ,	102,	350,	29,	20,	23,	တ်	14,	1,	2,	4,				
	_	↔	\$	\$	\$	\$	\$	\$0,	\$	\$ 0	\$	\$	\$				\$
Debt Assessment Income (Before Discounts &	661,941.00		2,382.60	121,039.30	415,280.50	35,194.20	23,709.30	27,757.70	10,857.65	16,342.10	2,033.85	2,879.60	4,465.30				661,942.10 \$
Debt sssessme Income (Before iscounts Fee)	661		2	121	415	35	23	27	10	16	2	2	4				661
	₩ ₩	╀	\$	8	\$	4	8	2	& &	\$ 2	\$ 6	2	3				2
M sment me ore nrts &	32.00		2,091.77	106,264.54	364,588.94	30,898.11	20,815.13	24,369.42	9,532.23	4,347.27	1,900.09	2,690.32	4,163.53				581,661,35
O & M Assessment Income (Before Discounts & Fee)	\$581,132.00 \$546,264.00		2,	106,	364,	30,	20,	24,	6	14,	1,	2,	4				581.
	_	-	8	2	2	\$	8	\$ 2	\$ 2	\$ 2	\$	2	& &				2
m Tax	\$1,243,073.00	(423.00	3,461.14	218,211.95	748,675.52	63,555.96	43,188.68	50,962.77	20,126.57	30,689.37	3,933.94	5,569.92	8,628.83	٠			581.6
Net From Tax Collector	\$1,243,073.00 \$1.170.139.00		, κ	218,	748,	63,	43,	50,	20,	30,	3,	5,	φ				1.196.
N N	\$ 51	€9	\$	\$ (6	5)	\$	2) \$	\$	\$ (1	s	s	s	ક્ર	s	s	s	(1,201.32) \$ (45,820.48) \$ 1,196,581.65
vunt			(234.91)	(9,091.89)	(31, 193.92)	(2,536.35)	(1,335.75)	(1,164.35)	(263.31								320.48
Discount					l			ľ									(45.8
v		(0)	32) \$	↔	↔	↔	\$	↔	\$							\vdash	32) \$
ssion		(423.00)	(778.32)														.201.3
Commissions Paid																	1)
		↔	s								ø	4	-				3 8
Interest											114.58	162.24	251.37				528.13
Re F		-	_	_	_		~	۵.	~		\$	\$	↔				s
llect pts			4,474.37	227,303.84	779,869.44	66,092.31	44,524.43	52,127.12	20,389.88	30,689.37	3,819.36	5,407.68	8,377.52				775.32
Tax Collect Receipts			4,4	227,3	3,677	99)	44,6	52,	20,3	30,6	3,8	5,4	8				\$ 1,243,075.32
<u> </u>		_	s	s	s	s	s	s	s	s	s	s	s				\$
κ											terest	terest	terest				
FOR			xes	xes/In	xes/In	xes/In											
		Fees	NAV Taxes	NAV Taxes	NAV Taxes	NAV Taxes/Interest	NAV Taxes/Interest	NAV Taxes/Interest									
	+	Ā	ż	ż	ż	ż	ż	ż	ż	ż	ż	ż	Ż				
DATE		11/12/24	11/14/24	11/26/24	12/11/24	12/30/24	01/15/25	02/13/25	03/13/25	04/11/25	05/15/25	06/11/25	07/15/25				
٥		11/	11/	11/2	12/	12/	01/	./70	./80	./40	./90	./90	.//0				
		_														\vdash	
MC		Paid to Lee County Prop Appraiser	ctor	ctor	ctor	ctor	ctor	ctor	ctor	ctor	ctor	ctor	ctor				
T FR(Prop A	Colle	< Colle	< Colle	< Colle	< Colle	< Colle	Colle	< Colle	Colle	< Colle	< Colle				
PAYMENT FROM		County	ty Tax														
PA		to Lee	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector	Lee County Tax Collector				
		Paid	Lee	Lee	Lee	Lee	Lee	_	Lee	Lee	Lee		Lee				
#QI			_	2	က	4	2	9	7	8	6	10	7				
#		~	7	က	4	2	9	7	∞	6	10	7	12	13	14	15	

Note: \$1,243,073, \$581,132 and \$661,941 are 2024/2025 Budgeted assessments before discounts and fees. \$1,170,139, \$546,264 and \$623,875 are 2024/2025 Budgeted assessments after discounts and fees.

\$ 1,243,075,32 \$ 528.13 \$ (581,661.35) \$ (661,942.10) \$ \$ (636,903.40) \$ \$

Assessment Roll 581,134,32

O&M 661,941.00

Debt 661,941.00

1,243,075.32

Collections 100.00%

Page 25